

OVERALL SITE PLAN

SCALE: 1"=200'

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD MORRIS, D.P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



SITE DATA		
SITE AREA = 79.91 ACRES		
ZONED: C2 - GENERAL COMMERCIAL DISTRICT		
BUILDINGS: 308,499 G.S.F. WAREHOUSE BLDG "A", 156,960 G.S.F. WAREHOUSE BLDG "B", 108,000 G.S.F. WAREHOUSE BLDG "C", 1120,795 G.S.F. WAREHOUSE BLDG "D", & 108,000 G.S.F. WAREHOUSE BLDG "E"		
SETBACKS - BUILDING	REQUIRED	PROVIDED
FRONT	40 FT	54.29 FT MIN.
SIDE	5 FT	71.43 FT MIN.
SIDE ABUTTING RESIDENTIAL	20 FT, OR HT. OF BLDG	255.78 FT MIN.
SIDE (VEHICULAR INGRESS OR EGRESS):	12 FT	71.43 FT MIN.
SIDE (VEHICULAR INGRESS AND EGRESS):	25 FT	71.43 FT MIN.
REAR	10 FT	278.72 FT MIN.
REAR ABUTTING RESIDENTIAL	20 FT, OR HT. OF BLDG	278.72 FT MIN.
SETBACKS - PARKING		
ANY STREET LINE	35 FT	40.17 FT MIN.
OTHER PROPERTY LINES	5 FT	25.0 FT MIN.
ANY RESIDENTIAL DISTRICT BOUNDARY	10 FT	113.86 FT MIN.
PARKING		
# OF SPACES	PER PLANNING BOARD	1,072
PARKING SPACE SIZE	9' x 18'	9' x 18'
MAX. LOT COVERAGE	85% MAX. (67.9 ACRES)	56.8% (45.4 ACRES)
MAX. BUILDING HEIGHT	35 FT MAX.	< 35 FT
LOT WIDTH AT THE BLDG LINE	100 FT MIN.	> 100 FT
LANDSCAPING		
INTERIOR PARKING AREA	5% OF INTERIOR PARKING (0.46 AC)	5.8% (0.53 AC)
TOTAL SITE	15% OF OVERALL SITE (11.9 AC)	43.1% (34.5 AC)



DRAWING NAME:

Overall
Site Plan

Date: 06/2022
Drawn By: JPB
Scale: As Noted

DRAWING NO.

C-4.0

Project No: 21.331

Hamburg Crossings

5220 Camp Road
Hamburg, NY 14075
BDC Property ID # 4148

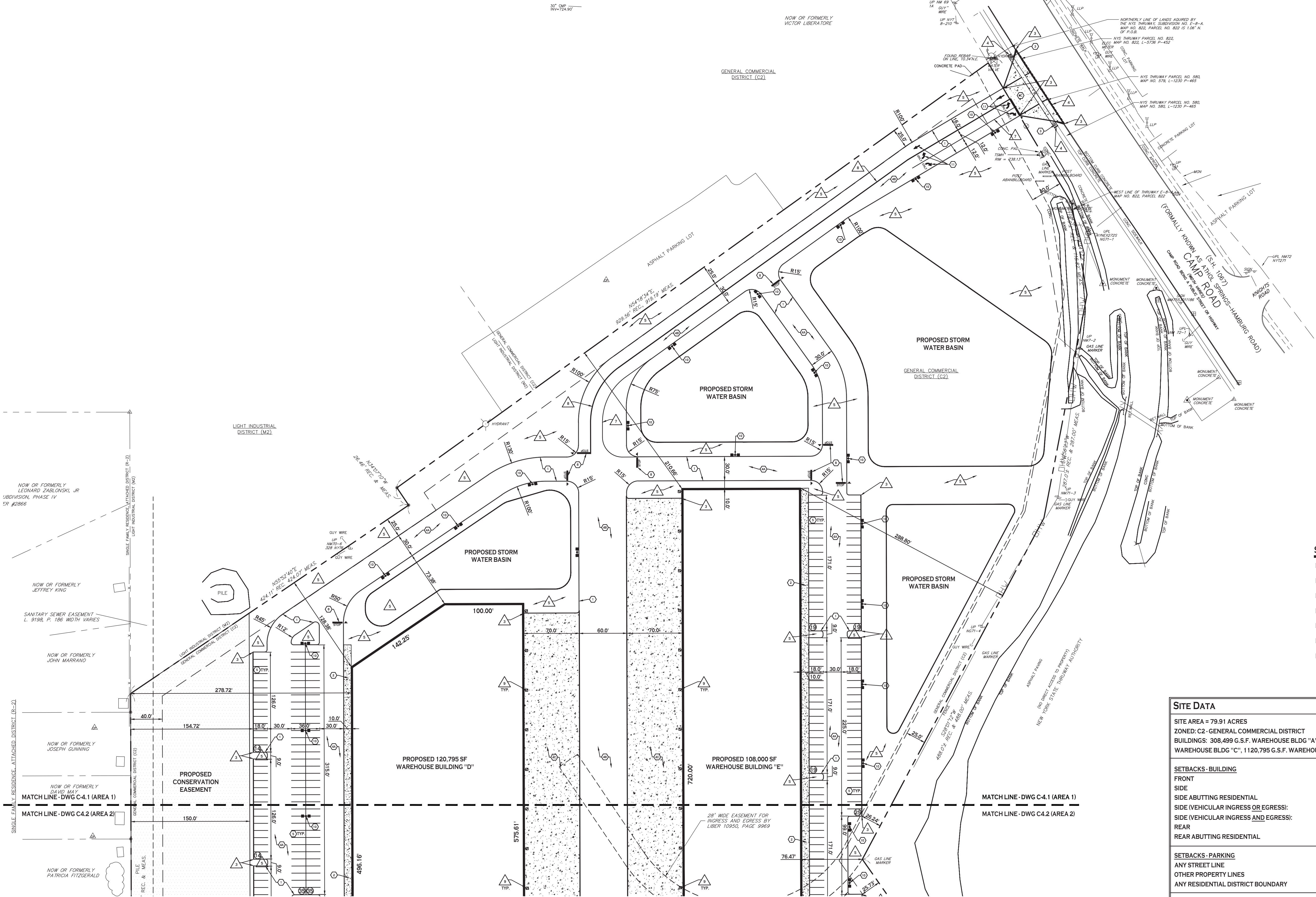
CARMINA WOOD
DESIGN

1497 Main Street, Suite 500
Carmina Wood Morris, D.P.C.
Phone: (716) 842-3165

111 Bain Street, Suite 332
Carmina Wood Morris, D.P.C.
Phone: (336) 937-9099

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NOTE:

ALL REASONABLE MEASURES SHALL BE TAKEN TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE, INCLUDING BUT NOT LIMITED TO, RETAINING WALLS WHICH PREVENT FILLING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS.

NOTES:

- ALL RADII SHALL BE 3'-0" UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS: SHALL HAVE 4" MIN. OF TOPSOIL & SEED.
- ALL DIMENSIONS FROM PROPERTY LINES SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE.
- CENTER ENTRANCE SIDEWALKS ON DOOR OPENINGS.
- BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.

GENERAL NOTES:

- INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
- SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
- WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
- VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
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- CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
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- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.

DETAIL LEGEND SEE SITE DETAIL SHEET

- CONCRETE CURB
- CONCRETE SIDEWALK WITH UNDERDRAIN & SOCK
- SIDEWALK CURB RAMP
- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT
- EXTERIOR CONCRETE SLAB ON GRADE
- 90° PARKING STALL
- HANDICAP PAVEMENT MARKINGS
- HANDICAPPED PARKING SIGN
- STOP BAR W/ M.U.T.C.D. SIGN NO. R1-1
- HANDICAP PAVEMENT RAMP
- LIGHT POLE FOUNDATION, SEE LIGHTING PLAN

NOTE LEGEND

- INSTALL "NO PARKING" SIGN, M.U.T.C.D. SIGN NO. P1-1C
- 4" WIDE YELLOW PAINT STRIPE @ 45° & 2' O.C., INFILL AREA AS SHOWN
- RUNOUT CURB IN 2' OR MATCH EXISTING CURB
- MATCH EX. EDGE OF PAVEMENT & OR S.W., SAWCUT AS REQ'D TO ACHIEVE SQUARE EDGE TO MATCH
- LANDSCAPED AREA - SEE LANDSCAPE PLAN, IF NO PLANTINGS, INSTALL TOPSOIL & SEED
- 1' WIDE WHITE PAVEMENT STRIPES @ 1' SPACING BETWEEN 4" WIDE WHITE CROSSWALK LINES WITH PEDESTRIAN CROSSING SIGN, M.U.T.C.D. SIGN NO. W5-1C
- 4" WIDE WHITE PAVEMENT STRIPE
- 4" WIDE DOUBLE YELLOW PAVEMENT STRIPES
- BUILDING WALL-PACK LIGHT, SEE LIGHTING PLAN

SITE LEGEND

- PROPERTY LINE
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED SIGN
- PROPOSED PARKING NUMBER
- PROPOSED LIGHT POLE
- PROPOSED WALL MOUNTED LIGHT

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PARKING		
# OF SPACES	PER PLANNING BOARD 9' x 18'	1,072 9' x 18'
PARKING SPACE SIZE		
MAX. LOT COVERAGE	85% MAX. (67.9 ACRES)	56.8% (45.4 ACRES)
MAX. BUILDING HEIGHT	35 FT MAX.	< 35 FT
LOT WIDTH AT THE BLDG LINE	100 FT MIN.	> 100 FT
LANDSCAPING		
INTERIOR PARKING AREA	5% OF INTERIOR PARKING (0.46 AC)	5.8% (0.53 AC)
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SITE PLAN

SCALE: 1"=60'

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD MORRIS, D.P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

REVISIONS: No. Description

Date



DRAWING NAME:

Site Plan
(Area 1)

Date: 06/2022
Drawn By: JPB
Scale: As Noted

DRAWING NO.

C-4.1

Project No: 21.331

CARMINA WOOD
DESIGN

111 Bain Street, Suite 332
Greenwich, CT 06830
Phone: (336) 937-9099

187 Main Street, Suite 500
Greenwich, CT 06830
Phone: (761) 842-3165

Hamburg Crossings

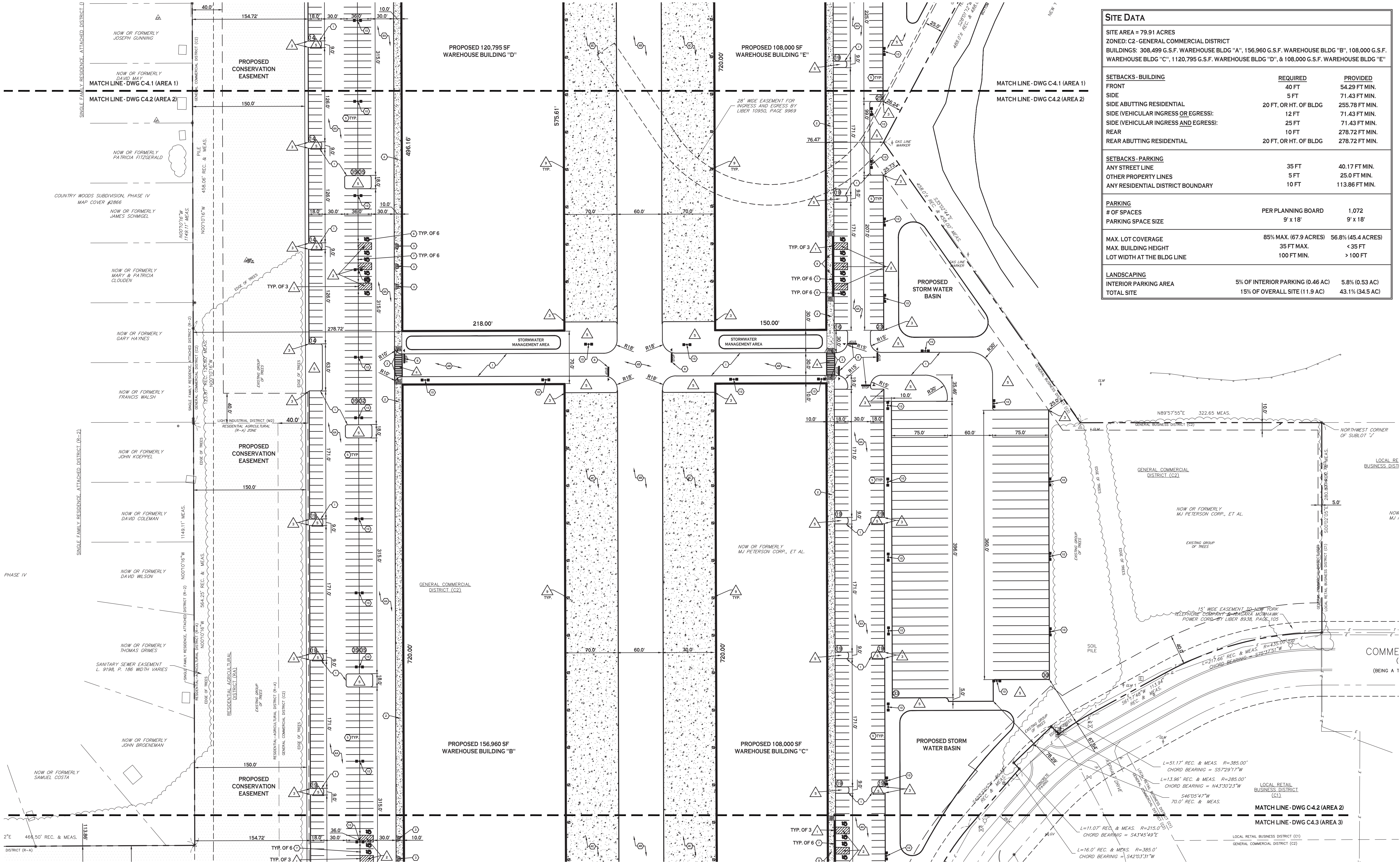
5220 Camp Road

Hamburg, NY 14075

BDC Property ID # 4148

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NOTES:

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- BUILDING WALL-PACK LIGHT, SEE LIGHTING PLAN

SITE PLAN

SCALE: 1"=60'

SITE LEGEND	
PROPERTY LINE	---
PROPOSED CONCRETE CURB	=====
PROPOSED CONCRETE SIDEWALK	=====
PROPOSED SIGN	▲
PROPOSED PARKING NUMBER	27
PROPOSED LIGHT POLE	■
PROPOSED WALL MOUNTED LIGHT	□

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CARMINA WOOD DESIGN

111 Bain Street, Suite 332
Greensboro, NC 27403
Phone: (336) 937-9099

Hamburg Crossings

5220 Camp Road
Hamburg, NY 14075
BDC Property ID # 4148

REVISIONS:	
No.	Description



DRAWING NAME:

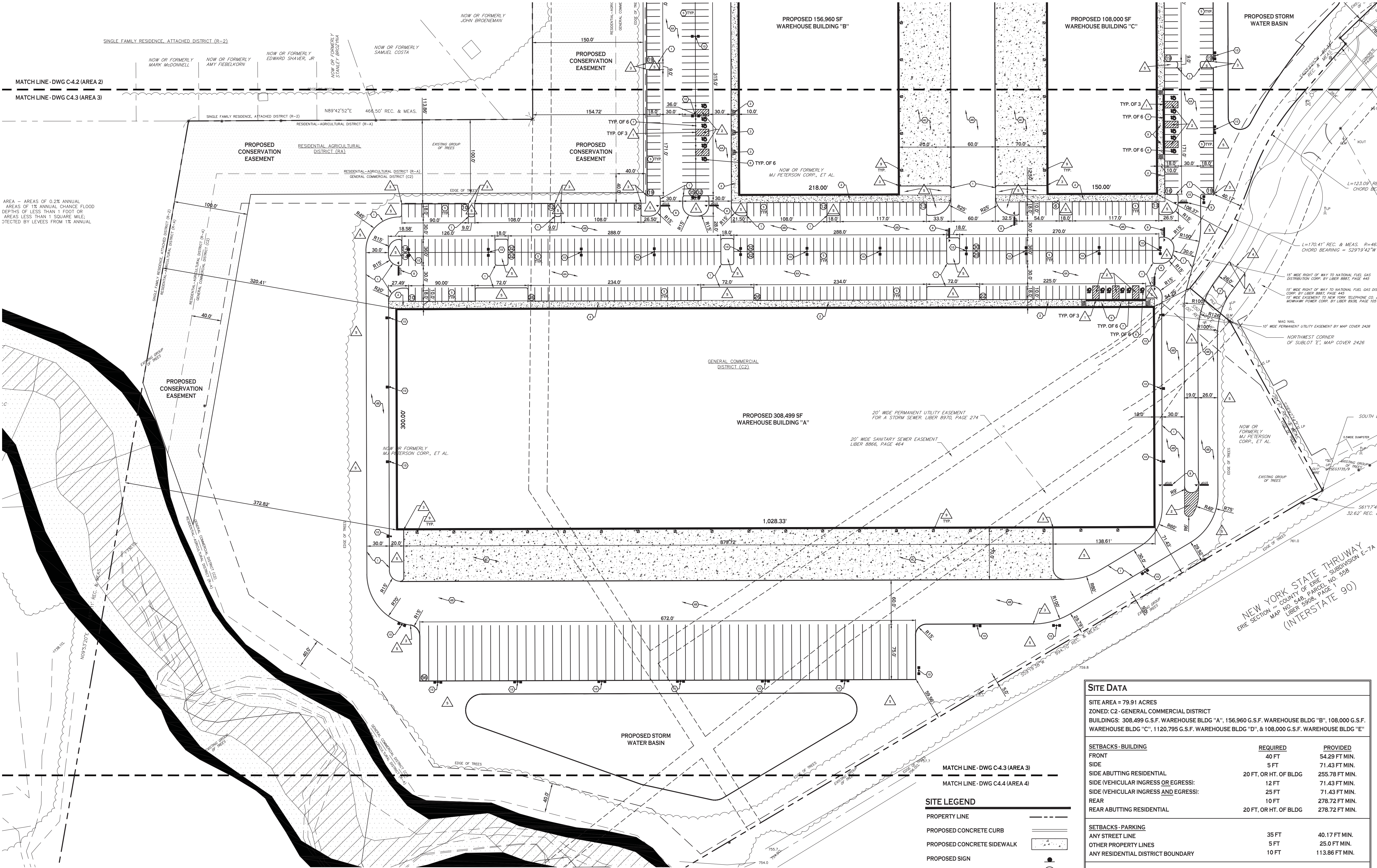
Site Plan
(Area 2)

DRAWING NO.:

C-4.2

Project No: 21.331

Date: 06/2022
Drawn By: JPB
Scale: As Noted



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- HANDICAPPED PARKING SIGN
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- LIGHT POLE FOUNDATION, SEE LIGHTING PLAN

NOTE LEGEND

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SITE LEGEND

- PROPERTY LINE
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- PROPOSED PARKING NUMBER
- PROPOSED LIGHT POLE
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SITE PLAN

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DRAWING NAME:

Site Plan
(Area 3)

Date: 06/2022
Drawn By: JPB
Scale: As Noted

DRAWING NO.

C-4.3

Project No: 21.331

Hamburg Crossings

5220 Camp Road

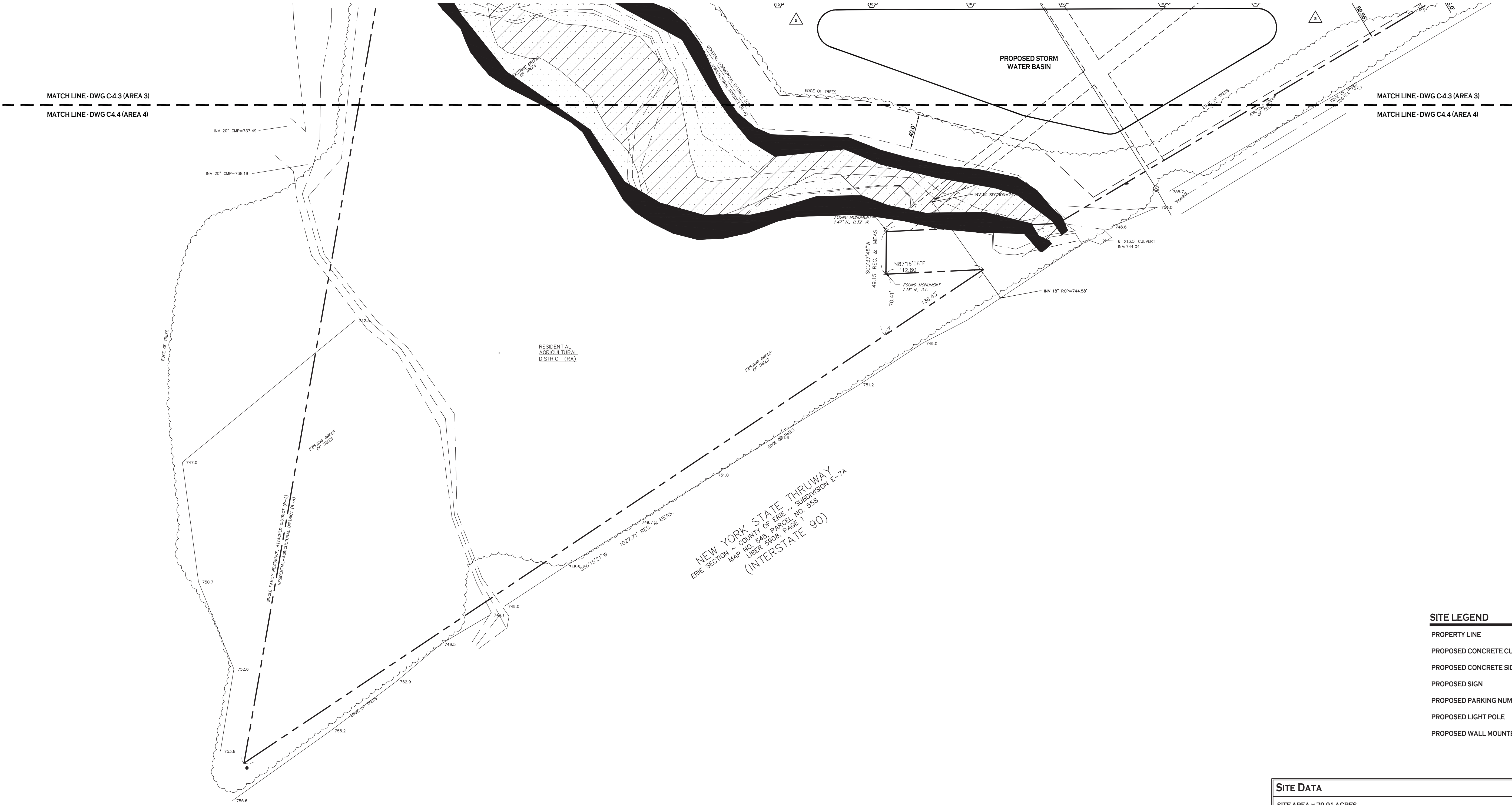
Hamburg, NY 14075

BDC Property ID # 4148

CARMINA WOOD
DESIGN

187 Main Street, Suite 500
Carmina Wood Morris
Phone: (716) 842-3165

111 Bain Street, Suite 332
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Phone: (336) 937-9099



SITE LEGEND	
PROPERTY LINE	---
PROPOSED CONCRETE CURB	=====
PROPOSED CONCRETE SIDEWALK	=====
PROPOSED SIGN	⬤
PROPOSED PARKING NUMBER	27
PROPOSED LIGHT POLE	⬤
PROPOSED WALL MOUNTED LIGHT	⬤

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- DETAIL LEGEND** SEE SITE DETAIL SHEET
1. CONCRETE CURB
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 3. SIDEWALK CURB RAMP
 - 4A. STANDARD DUTY ASPHALT
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 5. 90° PARKING STALL
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 7. HANDICAPPED PARKING SIGN
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 10. LIGHT POLE FOUNDATION, SEE LIGHTING PLAN

- GENERAL NOTES:**
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.

- NOTE:**
- ALL REASONABLE MEASURES SHALL BE TAKEN TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE, INCLUDING BUT NOT LIMITED TO, RETAINING WALLS WHICH PREVENT FILLING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS.
- NOTES:**
1. ALL RADII SHALL BE 3'-0" UNLESS OTHERWISE NOTED.
 2. ALL DISTURBED AREAS: SHALL HAVE 4" MIN. OF TOPSOIL & SEED.
 3. ALL DIMENSIONS FROM PROPERTY LINES SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE.
 4. CENTER ENTRANCE SIDEWALKS ON DOOR OPENINGS.
 5. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.

SITE PLAN
SCALE: 1"=60'

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD MORRIS, D.P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.