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REVISIONS:		
No.	Description	Date

PROJECT NAME:
Civil Plans for
Hamburg Crossings - Phase 1
Camp Road
Town of Hamburg, New York
Property # 4148

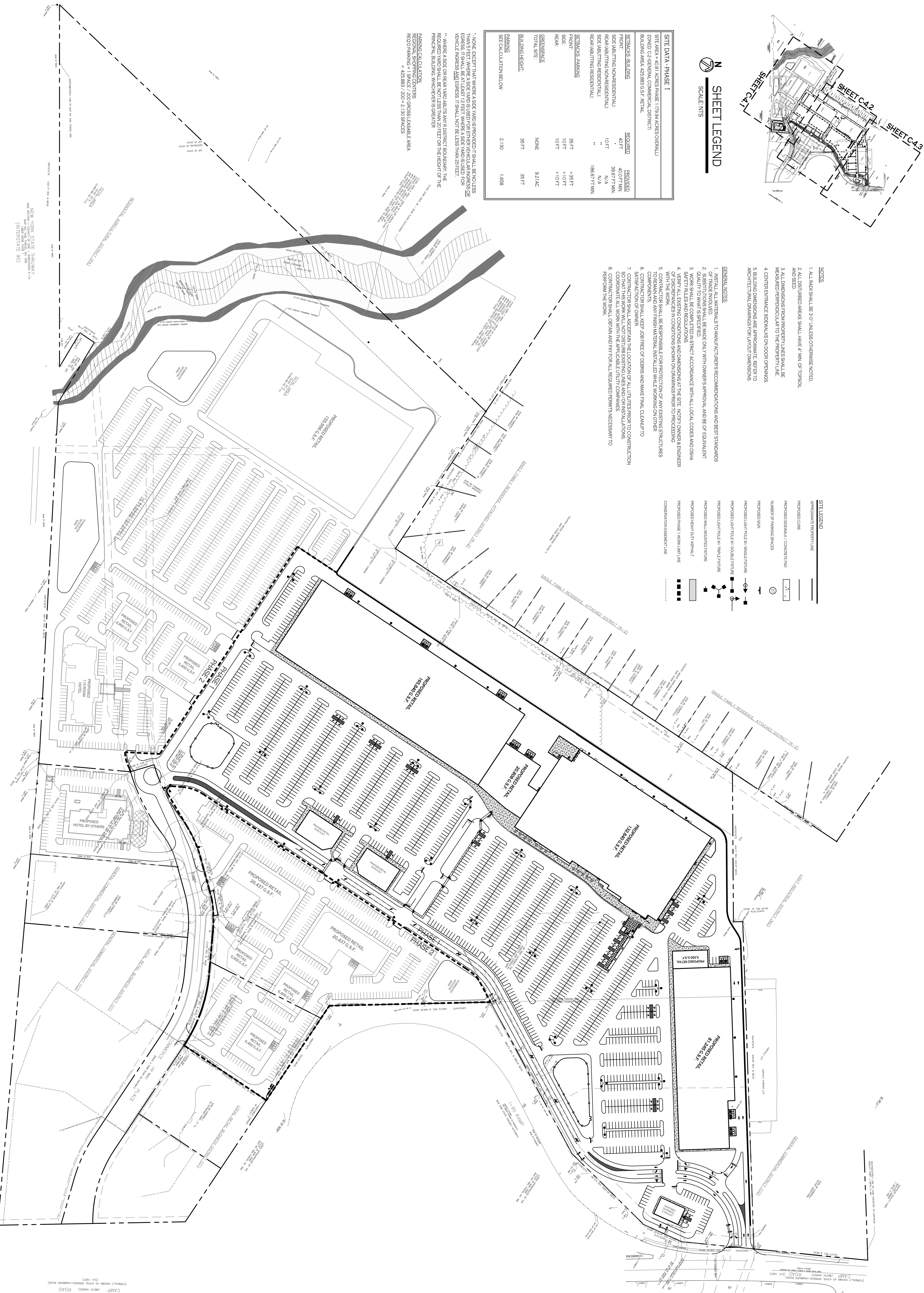
Date:
Drawn by:
Scale:
C. Wood
As Noted

DRAWING NAME:
Overall Site Plan

DRAWING NO.

C-4

Project no.: 07.021



NOTES

1. ALL PAVES SHALL BE 3" UNLESS OTHERWISE NOTED.
2. ALL DISTURBED AREAS SHALL HAVE 4" MIN. OF TOPSOIL AND SEED.
3. ALL DIMENSIONS FROM PROPERTY LINES SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE.
4. CENTER ENTRANCE SIGNALS ON DOOR OPENINGS.
5. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.

GENERAL NOTES

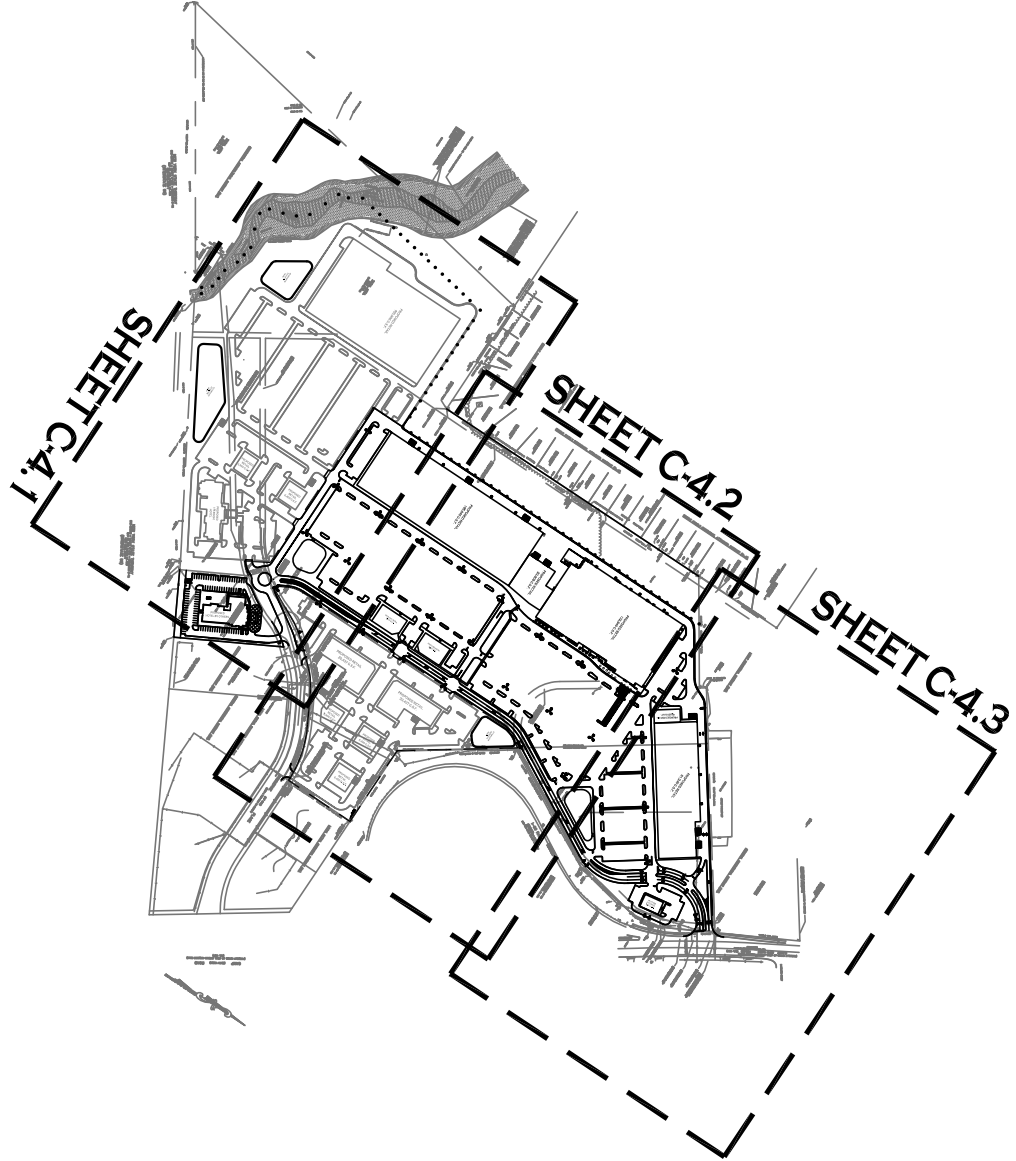
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS.
2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA.
4. SWEET RULES AND REGULATIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES COMPONENTS. NOTIFY OWNER & ENGINEER PRIOR TO ANY WORKING ON OTHER COMPONENTS.
6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.

SITE LEGEND

- APPROXIMATE PROPERTY LINE
- PROPOSED CURB
- PROPOSED SIDEWALK / CONCRETE PAD
- NUMBER OF PARKING SPACES
- PROPOSED SIGN
- PROPOSED LIGHT POLE IN SINGLE FINISH
- PROPOSED LIGHT POLE IN DOUBLE FINISH
- PROPOSED LIGHT POLE IN TRIPLE FINISH
- PROPOSED LIGHT POLE IN QUAD FINISH
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED PHASE 1 WORK UNIT LINE
- CONSERVATION EASEMENT LINE

SHEET LEGEND

SCALE: NTS



SITE DATA - PHASE 1		
SITE AREA = 40.81 ACRES PHASE 1 (79.94 ACRES OVERALL)		
ZONED: C-2 GENERAL COMMERCIAL DISTRICT		
BUILDING AREA: 425,889 G.S.F. RETAIL		
SETBACKS: BUILDING		REQUIRED
FRONT:	40 FT	40.0 FT MIN.
SIDE (BUILDING NON-RESIDENTIAL):	10 FT	39.67 FT MIN.
REAR (BUILDING NON-RESIDENTIAL):	N/A	N/A
REAR (BUILDING RESIDENTIAL):	**	186.67 FT MIN.
SETBACKS: PARKING		REQUIRED
FRONT:	35 FT	> 35 FT
SIDE:	10 FT	> 10 FT
REAR:	10 FT	> 10 FT
GREENSPACE		REQUIRED
TOTAL SITE:	NONE	9.21 AC
BUILDING HEIGHT:		REQUIRED
FRONT:	35 FT	35 FT
REAR:	35 FT	35 FT
PARKING		REQUIRED
SEE CALCULATION BELOW	2,130	1,658

* - NONE EXCEPT THAT WHERE A SIDE YARD IS PROVIDED IT SHALL BE NO LESS THAN 10 FEET. WHERE A SIDE YARD IS USED FOR EITHER VEHICULAR ACCESS OR FOR VEHICLE STORAGE AND EXPOSURE, IT SHALL NOT BE LESS THAN 25 FEET.

** - WHERE A SIDE OR REAR YARD ADJUTS AN ADJUTING BOUNDARY, THE PRINCIPAL BUILDING WHICHEVER IS GREATER.

PARKING CALCULATION:
TOTAL PARKING SPACES:
REQD PARKING = 1 SPACE / 200 GROSS LEASABLE AREA
= 425,889 / 200 = 2,130 SPACES

SITE PLAN

SCALE: 1"=100'

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION
ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
100' 0' 100' 200' FT.