



**HAMBURG TOWN HALL
PARKING LOT
PROJECT #2025-06**

CONSTRUCTION DOCUMENTS



Wendel WD Architecture, Engineering, Surveying and
Landscape Architecture, P.C.

**6100 SOUTH PARK AVENUE,
HAMBURG, NY 14175**

CONSTRUCTION DOCUMENTS
OCTOBER 22, 2025
PROJECT #2025-06

BID ITEM INFORMATION:

BID ITEMS SHALL INCLUDE BUT NOT BE LIMITED TO THE WORK DESCRIBED, AND SHALL INCLUDE ALL OTHER WORK NECESSARY AND REQUIRED TO PROVIDE THE WORK DESCRIBED COMPLETE AND READY FOR USE.

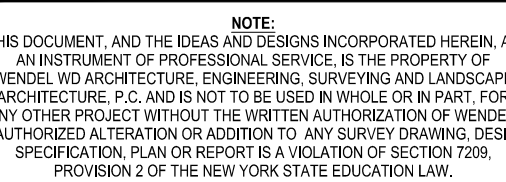
BASE BID

1. MILLING AND PAVING OF THE ENTIRE PARKING LOT BEHIND THE TOWN HALL BUILDING AT 6100 SOUTH PARK AVENUE, AND THE ONE-WAY ENTRY AND EXIT DRIVES. AS PART OF THE WORK, MODIFICATIONS WILL BE MADE TO THE PARKING LOT TO INCLUDE TWO NEW CURBED AND ONE NEW NON-CURBED LAWN AREAS WHERE THE EXISTING PAVEMENT SHALL BE REMOVED IN FULL. TEMPORARY RELOCATION OF EXISTING DUMPSTERS TO ADJACENT GRASS AREA DURING MILLING AND PAVING IS RETURNED TO ORIGINAL LOCATION UPON COMPLETION OF THE PROJECT. CONSTRUCTION WORK WITH TOWN HIGHWAY DEPARTMENT TO ACCOMMODATE THEIR RESETTLE OF CATCH BASIN FRAMES AND GRATES. ALL WORK ENDS AT THE SOUTH PARK AVENUE RIGHT-OF-WAY.
2. PROTECTION OF EXISTING TREES AND LANDSCAPING DURING THE FULL CONSTRUCTION, AND INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES.
3. CONSTRUCTION OF A NEW PARKING AREA WITH FIVE SPACES, INCLUDING CONCRETE CURB AND SIDEWALK, ON THE NORTH SIDE OF THE ENTRY DRIVE APPROACH, BEFORE THE EXISTING PARKING SPACES ON THE SOUTH SIDE OF THE BUILDING.
4. REPAIR AND REPAVEMENT MARKINGS INCLUDING PARKING SPACE STRIPING, NO PARKING AREAS, AND ACCESSIBLE SPACES WITH ACCESS AISLES, CROSSWALK STRIPING, AND VEHICULAR DIRECTIONAL ARROWS
5. INSTALLATION OF SEVEN PRECAST WHEEL STOPS, TO THE SOUTH OF THE POLICE BUILDING.
6. CONCRETE SIDEWALK AND A CURB RAMP ADJACENT TO THE NEW CROSSWALK AT THE CURBED LAWN AREA ON THE SOUTH SIDE OF TOWN HALL.
7. A NEW CATCH BASIN WITH STORM DRAIN PIPE CONNECTING TO AN EXISTING CATCH BASIN IN THE REAR PARKING LOT.
8. SIX BOLLARDS INSTALLED IN FRONT OF THE POLICE STATION BUILDING, PROTECTING / MODIFYING AN UNDERGROUND COMMUNICATION LINE AS NEEDED.
9. RELOCATION OF AN EXISTING CARD READER WITH BASE ONTO A NEW PROTECTIVE PAD AT THE SOUTH SIDE OF THE POLICE STATION BUILDING, INCLUDING ONE BOLLARD ON EACH SIDE OF THE CARD READER, AND MODIFICATION OF EXISTING UNDERGROUND CONDUIT AND WIRING.
10. RELOCATION OF ONE EXISTING CONCRETE CURB ON THE FRONT OF THE BAY.
11. PLACEMENT OF TWO SPARE UNDERGROUND ELECTRICAL CONDUITS FROM THE FRONT ENTRANCE THROUGH THE SOUTH PARKING AREA, STUBBED UP ABOVE GRADE AND CAPPED FOR FUTURE USE.
12. A CIRCULAR MONUMENT AND FLAGPOLE ISLAND IN FRONT OF THE MAIN ENTRANCE TO THE TOWN HALL BUILDING. THE ISLAND SHALL INCLUDE A CIRCULAR CONCRETE SIDEWALK, CONCRETE FLAGPOLE AREA WITH TWO RELOCATED AND ONE NEW FLAGPOLE ON NEW FOUNDATIONS. REMOVAL OF TWO EXISTING AND CONSTRUCTION OF TWO NEW FOUNDATIONS FOR EXISTING MEMORIAL MONUMENTS THAT SHALL BE REMOVED, STORED, PROTECTED, AND RESET ONTO THE NEW FOUNDATIONS. RELOCATION OF EXISTING TRAILER DISTRIBUTION WORK INCLUDES THE RELOCATION OF AN EXISTING 2" GAS LINE TO BE LOCATED AROUND THE ISLAND, RELOCATION OF ONE EXISTING LAMP POST TO A NEW FOUNDATION LOCATED OUTSIDE OF THE NEW ISLAND, AND NEW FLOODLIGHTING FOR MONUMENTS AND FLAGPOLES INCLUDING MODIFICATION OF EXISTING UNDERGROUND CONDUIT AND WIRING FROM THE EXISTING LOCATIONS TO THE NEW LOCATIONS.

BID ALTERNATE #1

1. REMOVAL OF AN EXISTING GRAVEL AREA BEHIND THE TOWN HALL BUILDING, AND CONSTRUCTION OF A CURBED CONCRETE PATIO AREA.

DRAWING NUMBER	DRAWING TITLE
G001	COVERSHEET
C100	EXISTING CONDITIONS
C101	FRONT SITE PREPARATION PLAN
C102	REAR SITE PREPARATION PLAN
C201	SITE LAYOUT PLAN
C301	OVERALL GRADING AND DRAINAGE PLAN
C302	GRADING AND DRAINAGE PLAN ENLARGEMENTS
C501	EROSION & SEDIMENT CONTROL DETAILS
C502	SITE DETAILS
C503	SITE DETAILS
C601	GENERAL NOTES, GOVERNING STANDARDS, AND EARTH MOVING SPECIFICATION
C602	EROSION & SEDIMENT CONTROL AND DEWATERING SPECIFICATIONS
C603	STORMWATER CONVEYANCE AND STRUCTURES AND LANDSCAPE WORK SPECIFICATIONS
E001	ELECTRICAL SYMBOLS, ABBREVIATIONS, & NOTES
ED101	ELECTRICAL DEMOLITION PLAN
E101	ELECTRICAL NEW WORK PLAN
E501	ELECTRICAL DETAILS & SCHEDULES
E601 - E602	ELECTRICAL SPECIFICATION

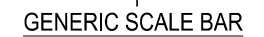
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NO.	REVISIONS	DATE
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COVER



DATE 10/22/2025

SCALE AS NOTED

DOWN. WE

PROJ. No. 300

DWG. No.

G001



Centerpointe Corporate Park
375 Essjay Road, Suite 200
Williamsville, NY 14221
www.wendelcompanies.com
p:716.688.0766 f:716.625.6825

Wendel Project No. 300825PKLOT

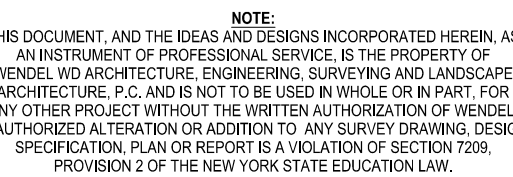


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PROJECT #2025-06**

CONSTRUCTION DOCUMENTS



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Landscape Architecture, P.C.

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DWG. TITLE

EXISTING CONDITIONS PLAN



IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY

DATE 10/22/2025

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SURVEY NOTES:

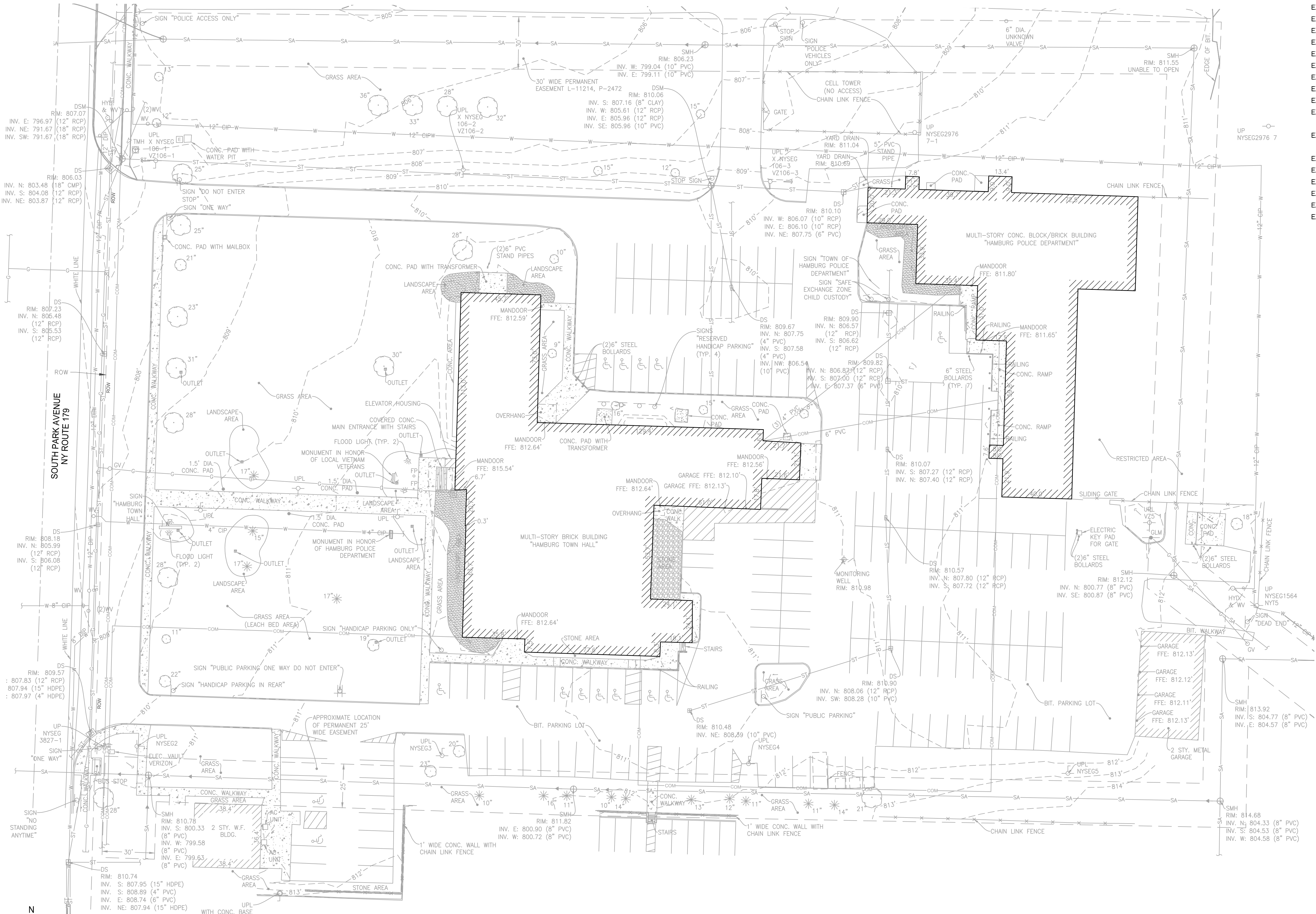
1. HORIZONTAL CONTROL IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), NEW YORK STATE PLANE COORDINATE SYSTEM, WESTERN ZONE, U.S. SURVEY FEET, AS ESTABLISHED BY THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REAL TIME NETWORK (NYSNet).
2. VERTICAL DATUM IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS ESTABLISHED BY UTILIZING NYSNET.
3. INFORMATION SHOWN ON THIS MAP WAS GATHERED BY WENDEL OCTOBER 17, 2023
3. UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION FROM VISIBLE EVIDENCE LOCATED IN THE FIELD AND RECORDS FROM TOWN OF HAMBURG ENGINEERING.
4. HIGHWAY BOUNDARIES ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON AVAILABLE GIS INFORMATION.

EXISTING LEGEND

EXISTING BUILDING OUTLINE
EXISTING CONCRETE SIDEWALK/STAIRS/RAMPS/PADS
EXISTING RIGHT OF WAY
EXISTING ROAD CENTERLINE
EXISTING CONTOUR
EXISTING EDGE OF PAVEMENT
EXISTING CURBING
EXISTING CHAIN LINK FENCE
EXISTING LANDSCAPING AREA TO REMAIN
EXISTING OPEN STONE
EXISTING SANITARY SEWER
EXISTING WATER LINE / APPURTENANCES
EXISTING STORM SEWER
EXISTING GAS LINE / APPURTENANCES
EXISTING ELECTRIC / COMMUNICATIONS LINE

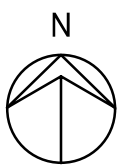
EXISTING TREE

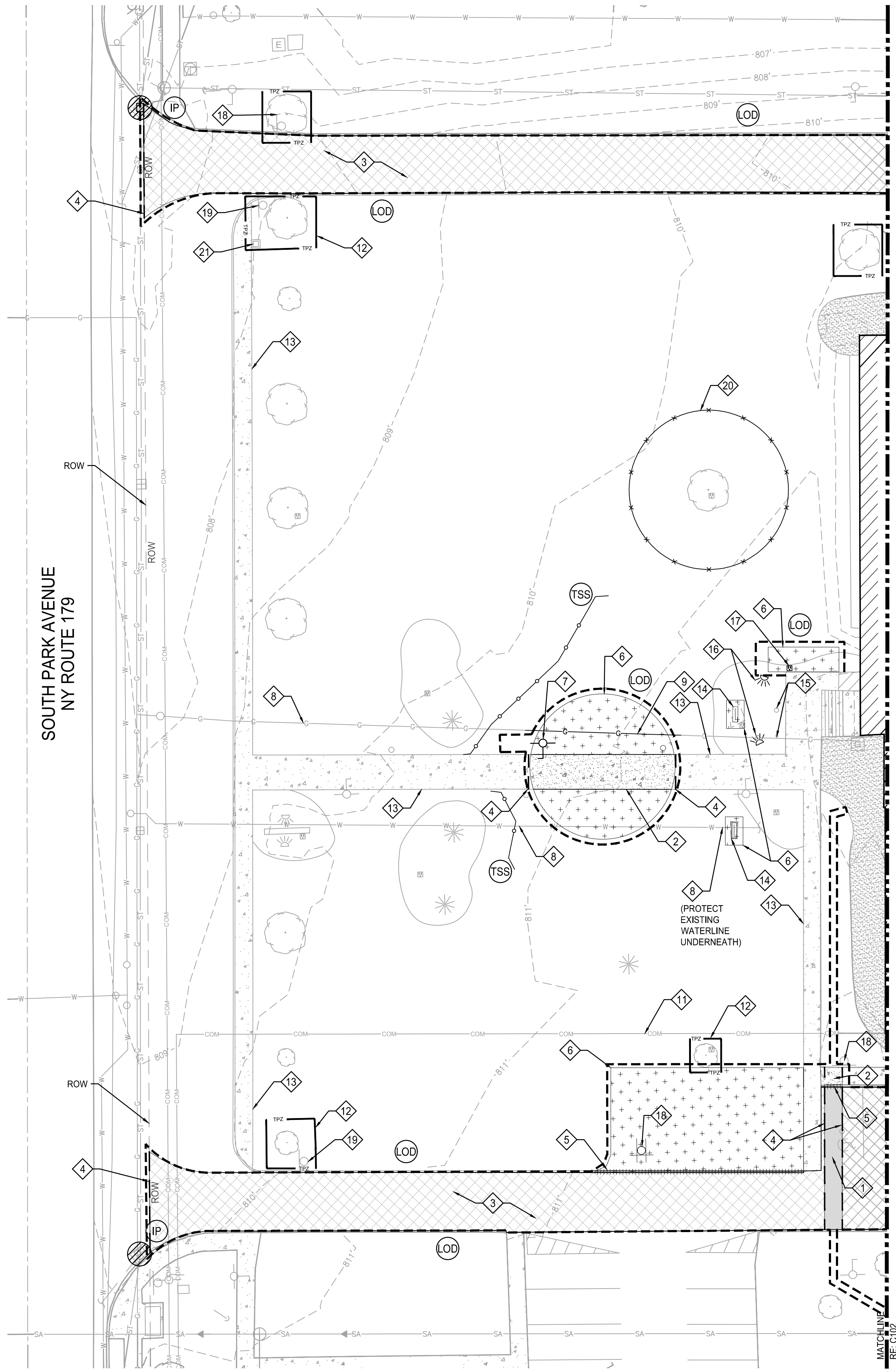
EXISTING LIGHT POLE
EXISTING DISPLAY LIGHTING
EXISTING EXTERIOR ELECTRICAL OUTLET
EXISTING MONUMENT
EXISTING POST MOUNTED SIGN
EXISTING FLAG POLE



EXISTING CONDITIONS PLAN

SCALE: 1" = 30'





EROSION AND SEDIMENT CONTROL LEGEND:

- LOD = LIMITS OF DISTURBANCE = 2.00 AC (BASE BID), 2.02 AC (WITH ALTERNATE #1)
- TSS = TEMPORARY SILT FENCE OR COMPOST FILTER SOCK; RE: 2,5, C501.
- CE = TEMPORARY STABILIZED CONSTRUCTION ENTRANCE; RE: 3, C501.
- CW = TEMPORARY CONCRETE WASHOUT; RE: 1, C501.
- IP = TEMPORARY INLET PROTECTION; RE: 4,5,6,7 C501.

EXISTING LEGEND

- EXISTING BUILDING OUTLINE
- EXISTING CONCRETE SIDEWALK/STAIRS/RAMPS/PADS
- EXISTING RIGHT OF WAY
- EXISTING ROAD CENTERLINE
- EXISTING CONTOUR
- EXISTING EDGE OF PAVEMENT
- EXISTING CURBING
- EXISTING CHAIN LINK FENCE
- EXISTING LANDSCAPING AREA TO REMAIN
- EXISTING OPEN STONE
- EXISTING SANITARY SEWER
- EXISTING WATER LINE / APPURTENANCES
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- EXISTING TREE
- EXISTING LIGHT POLE
- EXISTING DISPLAY LIGHTING
- EXISTING EXTERIOR ELECTRICAL OUTLET
- EXISTING MONUMENT
- EXISTING POST MOUNTED SIGN
- EXISTING FLAG POLE

GENERAL NOTES:

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING UTILITIES PERTAINING TO THEIR WORK. THE CONTRACTOR IS ALSO RESPONSIBLE TO VERIFY WHICH, IF ANY, UTILITIES WILL BE REMOVED AND THE EXTENT OF EACH REMOVAL. THE CONTRACTOR MUST VERIFY IF ANY UTILITIES TO BE REMOVED MUST BE REMOVED BY THE UTILITY COMPANY AND IF SO, THE CONTRACTOR SHALL COORDINATE SAID UTILITY REMOVAL. ANY REMAINING UTILITIES TO BE REMOVED SHALL BE REMOVED BY THE CONTRACTOR.
- UTILITY LOCATIONS SHOWN (WATER, SANITARY SEWER, AND SOME STORM SEWER) WERE APPROXIMATED FROM RECORD DRAWING. ALL UTILITY LOCATIONS MUST BE CONFIRMED PRIOR TO CONSTRUCTION COMMENCEMENT. CONFLICTING OR CONTRARY UTILITY INFORMATION DETERMINED BY THE CONTRACTOR MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER IMMEDIATELY.
- THE OWNER GETS THE FIRST RIGHT TO SALVAGE.
- ALL DEMOLITION MATERIAL AND SALVAGEABLE MATERIAL IS THE PROPERTY OF THE DEMOLITION CONTRACTOR AND SHALL BE DISPOSED OF OFFSITE.
- THE CONTRACTOR SHALL OBTAIN ALL DEMOLITION PERMITS REQUIRED BY THE LOCAL AND STATE AGENCIES.
- THE CONTRACTOR SHALL MAINTAIN ROADWAYS FREE AND CLEAR OF SEDIMENT AND DEBRIS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITY LINES, SIDEWALKS, LANDSCAPING, AND ALL SITE ELEMENTS TO REMAIN UNDISTURBED SHALL BE PROTECTED THROUGHOUT CONSTRUCTION UNLESS OTHERWISE STATED.
- CONTRACTOR SHALL COORDINATE ALL TEMPORARY SHUT DOWN OF EXISTING UTILITY SERVICES WITH THE APPROPRIATE UTILITY DEPARTMENT, OWNER, AUTHORITY, ETC.
- CONTRACTOR SHALL COORDINATE ANY NECESSARY STREET OR DRIVE CLOSURES REQUIRED.
- MAINTENANCE AND PROTECTION OF TRAFFIC TO BE INSTALLED AND MAINTAINED PER THE MUTCD MANUAL.
- REFER TO DRAWING C603 FOR EROSION AND SEDIMENT CONTROL SPECIFICATIONS.
- DEMOLITION OR DAMAGE TO LANDSCAPED AREAS SHALL BE WITHIN REASONABLE DISTURBANCE FOR CONTRACT WORK TO BE PERFORMED. RESTORATION OF DISTURBED LANDSCAPE AREAS (EXCLUDING LAWN AREAS) WILL BE THE RESPONSIBILITY OF THE TOWN.

SITE PREPARATION NOTES: NOTES APPLY TO BOTH C101 AND C102

- REMOVE AND DISPOSE OF ASPHALT PAVEMENT (INCLUDING SUBBASE MATERIAL) AND ASSOCIATED CURBING.
- REMOVE AND DISPOSE OF CONCRETE SIDEWALK (INCLUDING SUBBASE MATERIAL) AND ASSOCIATED CURBING.
- MILL EXISTING PAVEMENT SURFACE AND PREPARE FOR OVERLAY RESURFACING.
- SAWCUT PAVEMENT.
- REMOVE CONCRETE CURBING.
- STRIPPING AND STOCKPIILING OF TOPSOIL, EXCAVATION OF SOIL AND / OR GRAVEL AND ROUGH GRADING.
- RELOCATE LIGHT POLE FIXTURE ONTO NEW BASE 8 LF TO THE WEST; RE: 1, C201.
- EXISTING UTILITY SYSTEMS TO REMAIN.
- RELOCATE GAS LINE TO RUN OUTSIDE OF PROPOSED CIRCULAR ISLAND. REMOVE AND DISPOSE OF PIPE SEGMENT NO LONGER BEING USED BY PROPOSED ALIGNMENT.
- REMOVE EXISTING CARD READER AND POST FOR REINSTALLATION. REMOVE BOLLARDS AND CONCRETE PAD IN THEIR ENTIRETY AND DISPOSE OF PROPERLY. PLACE SELECT BACKFILL FOR TOPSOIL AND TURF. REFER TO ELECTRICAL DRAWINGS.
- PROTECT EXISTING FIBER DURING CONSTRUCTION. LOCATION APPROXIMATE. CONTRACTOR TO VERIFY IN FIELD DURING SITE PREPARATION ACTIVITIES.
- EXISTING TREES TO BE PROTECTED WITH 4' HIGH ORANGE SNOW FENCE.
- CONCRETE SIDEWALK TO REMAIN.
- MONUMENT TO BE SALVAGED FOR RELOCATION BY OWNER TO NEW FOUNDATION; RE: 1, C201.
- FLAG POLES TO BE SALVAGED AND RELOCATED BY CONTRACTOR; RE: 1, C201.
- DISPLAY LIGHTING TO BE SALVAGED AND RELOCATED BY CONTRACTOR.
- OUTDOOR RECEPTACLE TO BE REMOVED AND RELOCATED; RE: 1, C201.
- SIGN TO BE REMOVED AND SALVAGED FOR RELOCATION.
- SIGN TO REMAIN.
- PLACE TEMPORARY 6' HIGH CHAIN LINK FENCE AT CANOPY LINE OF 30" DIA. MAPLE TREE FOR ADDITIONAL PROTECTION.
- EXISTING MAILBOX TO REMAIN UNDISTURBED, PROTECT BUT MAINTAIN ACCESS DURING CONSTRUCTION.
- EXISTING DUMPSTERS TO REMAIN ACCESSIBLE AND TEMPORARILY RELOCATED TO THE GRASS AREA DIRECTLY TO THE EAST DURING MILLING AND PAVING OPERATIONS.
- GRASS ISLAND AND CURB TO BE PROTECTED DURING MILLING AND PAVING OPERATIONS.
- MONITORING WELL TO BE PROTECTED DURING MILLING AND PAVING OPERATIONS.



6100 SOUTH PARK AVENUE
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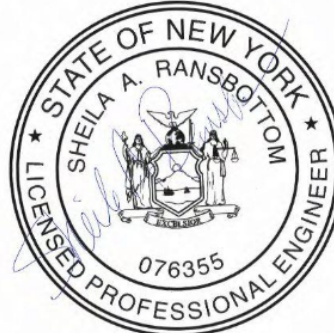
HAMBURG TOWN HALL
PARKING LOT
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NO.	REVISIONS	DATE

DWG. TITLE

FRONT
SITE PREPARATION PLAN

GENERIC SCALE BAR
SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING.
IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY

DATE 10/22/2025
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DWG. No.

C101

EXISTING LEGEND

- EXISTING BUILDING OUTLINE
EXISTING CONCRETE SIDEWALK/STAIRS/RAMPS/PADS
EXISTING RIGHT OF WAY
EXISTING ROAD CENTERLINE
EXISTING CONTOUR
EXISTING EDGE OF PAVEMENT
EXISTING CURBING
EXISTING CHAIN LINK FENCE
EXISTING LANDSCAPING AREA TO REMAIN
EXISTING OPEN STONE
EXISTING SANITARY SEWER

- EXISTING WATER LINE / APPURTENANCES
EXISTING STORM SEWER
EXISTING GAS LINE / APPURTENANCES
EXISTING ELECTRIC / COMMUNICATIONS LINE
EXISTING TREE
EXISTING LIGHT POLE
EXISTING DISPLAY LIGHTING
EXISTING EXTERIOR ELECTRICAL OUTLET
EXISTING MONUMENT
EXISTING POST MOUNTED SIGN
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GENERAL NOTES:

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- REFER TO DRAWING C603 FOR EROSION AND SEDIMENT CONTROL SPECIFICATIONS.
- DEMOLITION OR DAMAGE TO LANDSCAPED AREAS SHALL BE WITHIN REASONABLE DISTURBANCE FOR CONTRACT WORK TO BE PERFORMED. RESTORATION OF DISTURBED LANDSCAPE AREAS (EXCLUDING LAWN AREAS) WILL BE THE RESPONSIBILITY OF THE TOWN.

SITE PREPARATION NOTES: NOTES APPLY TO BOTH C101 AND C102

- REMOVE AND DISPOSE OF ASPHALT PAVEMENT (INCLUDING SUBBASE MATERIAL) AND ASSOCIATED CURBING.
- REMOVE AND DISPOSE OF CONCRETE SIDEWALK (INCLUDING SUBBASE MATERIAL) AND ASSOCIATED CURBING.
- MILL EXISTING PAVEMENT SURFACE AND PREPARE FOR OVERLAY RESURFACING.
- SAWCUT PAVEMENT.
- REMOVE CONCRETE CURBING.
- STRIPPING AND STOCKPIILING OF TOPSOIL, EXCAVATION OF SOIL AND / OR GRAVEL AND ROUGH GRADING.
- RELOCATE LIGHT POLE FIXTURE ONTO NEW BASE 8 LF TO THE WEST; RE: 1, C201.
- EXISTING UTILITY SYSTEMS TO REMAIN.
- RELOCATE GAS LINE TO RUN OUTSIDE OF PROPOSED CIRCULAR ISLAND.
- REMOVE EXISTING CARD READER AND POST FOR REINSTALLATION. REMOVE BOLLARDS AND CONCRETE PAD IN THEIR ENTIRETY AND DISPOSE OF PROPERLY. PLACE SELECT BACKFILL FOR TOPSOIL AND TURF. REFER TO ELECTRICAL DRAWINGS.
- PROTECT EXISTING FIBER DURING CONSTRUCTION. LOCATION APPROXIMATE. CONTRACTOR TO VERIFY IN FIELD DURING SITE PREPARATION ACTIVITIES.
- EXISTING TREES TO BE PROTECTED WITH 4' HIGH ORANGE SNOW FENCE.
- CONCRETE SIDEWALK TO REMAIN.
- MONUMENT TO BE SALVAGED FOR RELOCATION BY OWNER TO NEW FOUNDATION; RE: 1, C201.
- FLAG POLE TO BE SALVAGED AND RELOCATED BY CONTRACTOR; RE: 1, C201.
- DISPLAY LIGHTING TO BE SALVAGED AND RELOCATED BY CONTRACTOR.
- OUTDOOR RECEPTACLE TO BE REMOVED AND RELOCATED; RE: 1, C201.
- SIGN TO BE REMOVED AND SALVAGED FOR RELOCATION.
- SIGN TO REMAIN.
- PLACE TEMPORARY 6' HIGH CHAIN LINK FENCE AT CANOPY LINE OF 30" DIA. MAPLE TREE FOR ADDITIONAL PROTECTION.
- EXISTING MAILBOX TO REMAIN UNDISTURBED, PROTECT BUT MAINTAIN ACCESS DURING CONSTRUCTION.
- EXISTING DUMPSTERS TO REMAIN ACCESSIBLE AND TEMPORARILY RELOCATED TO THE GRASS AREA DIRECTLY TO THE EAST DURING MILLING AND PAVING OPERATIONS. COMPOST CONTAINER TO BE RELOCATED BY TOWN. ALL OTHER REFUSE CONTAINERS TO BE RELOCATED BY CONTRACTOR.
- GRASS ISLAND AND CURB TO BE PROTECTED DURING MILLING AND PAVING OPERATIONS.
- MONITORING WELL TO BE PROTECTED DURING MILLING AND PAVING OPERATIONS.



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NO.	REVISIONS	DATE

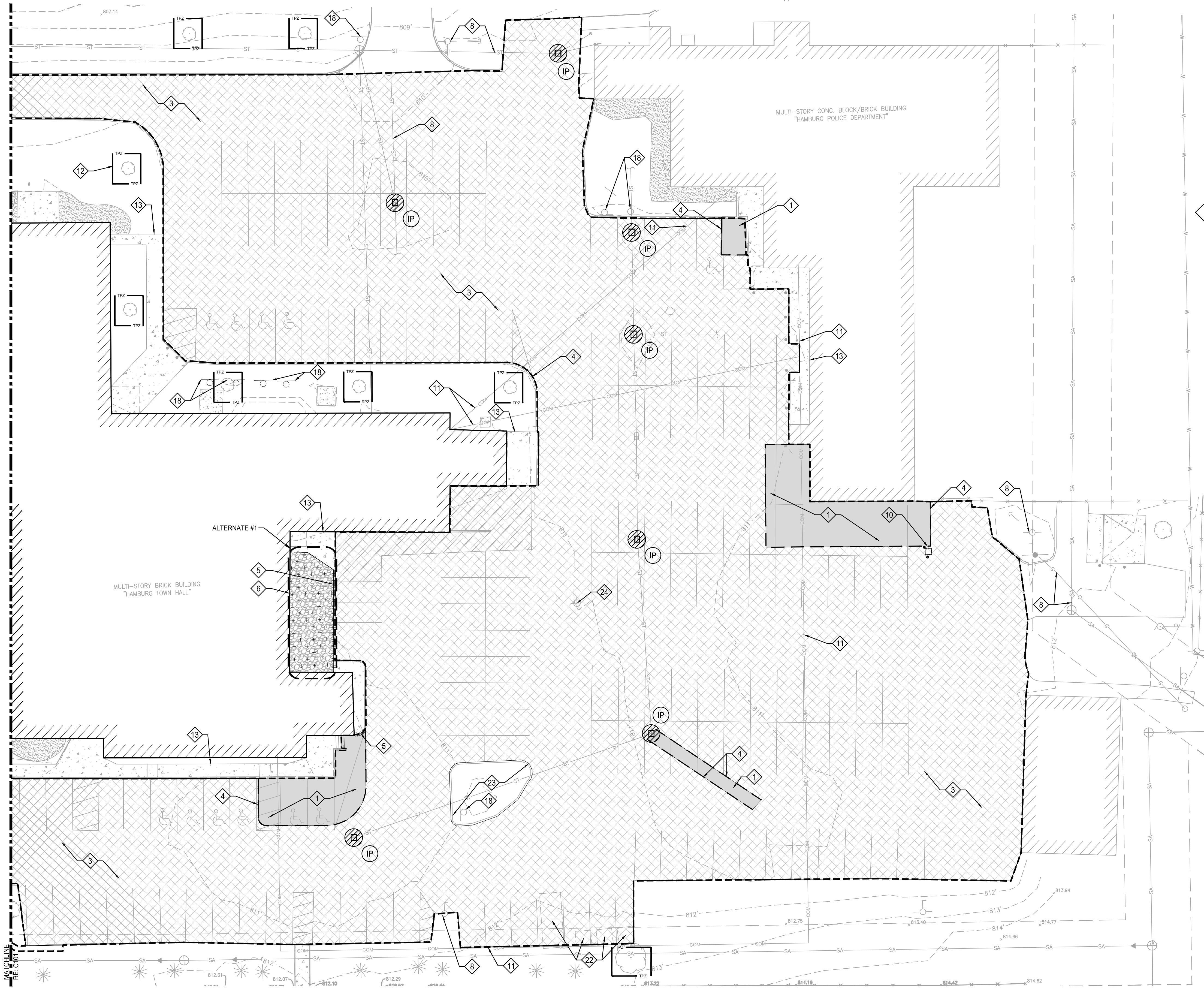
DWG. TITLE

REAR
SITE PREPARATION PLAN

GENERIC SCALE BAR
SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING.
IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY

DATE	10/22/2025
SCALE	AS NOTED
DWN	IR2
CHK	WGA
PROJ. No.	300825PKLOT
DWG. No.	

C102



1 REAR SITE PREPARATION PLAN - BASE BID AND ALTERNATE #1

SCALE: 1" = 20'



6100 SOUTH PARK AVENUE
HAMBURG NY, 14175

HAMBURG TOWN HALL
PARKING LOT
PROJECT #2025-06

CONSTRUCTION DOCUMENTS



Centerpointe Corporate Park
375 Esjay Road, Suite 200
Williamsville, NY 14221
www.wendelcompanies.com
p:716.688.0766 f:716.625.6825

Wendel W/D Architecture, Engineering, Surveying and
Landscape Architecture, P.C.

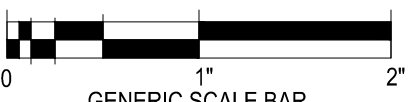


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PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

NO.	REVISIONS	DATE

DWG. TITLE

SITE LAYOUT PLAN



GENERIC SCALE BAR
SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING.
IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY

DATE 10/22/2025

SCALE AS NOTED

DWN WGA CHK SAR

PROJ. No. 300825PKLOT

DWG. No.

C201

GENERAL SITE NOTE:

1. AUTOCAD FILES WILL BE PROVIDED TO CONTRACTOR FOR CONSTRUCTION STAKEOUT PURPOSES.
2. CONTRACTOR TO COORDINATE TRASH PICKUP SCHEDULE WITH TOWN TO ENSURE ACCESSIBILITY TO REFUSE CONTAINERS AT TIME OF SCHEDULED PICKUP.
3. COMPOST CONTAINER WILL BE RETURNED TO ORIGINAL PRECONSTRUCTION LOCATION BY TOWN. CONTRACTOR SHALL RETURN ALL OTHER REFUSE CONTAINERS TO ORIGINAL PRECONSTRUCTION LOCATIONS PRIOR TO CONTRACTOR DEMOBILIZATION.

SITE IMPROVEMENT NOTES:

1. ASPHALT PAVEMENT; RE: 1, C502
2. ASPHALT PAVEMENT - MILL & OVERLAY; RE: 2, C502
3. CONCRETE SIDEWALK, 5'-0" WIDE EXCEPT AS NOTED; RE: 3 & 5, C502
4. EXISTING SIDEWALK TO REMAIN
5. CONCRETE CURB; RE: 6, C502
6. EXISTING CURB TO REMAIN
7. ADA ACCESSIBLE RAMP; RE: 1, C503
8. EXISTING LAWN AND LANDSCAPING TO REMAIN UNDISTURBED
9. TOPSOIL AND TURF ESTABLISHMENT
10. 4" WIDE PAVEMENT STRIPING, YELLOW
11. CROSSWALK PAVEMENT MARKINGS; RE: 7, C502
12. ACCESSIBLE PARKING SPACE SYMBOL; RE: 8, C502
13. ACCESS AISLE AND NO PARKING STRIPING; RE: 8, C502
14. ARROW SYMBOL, PAVEMENT MARKING, NYSDOT ITEM 685.3404, AND PAVEMENT LETTERS, "NO PARKING", NYSDOT ITEM 685.3304
15. EXISTING SIGN TO REMAIN
16. RESERVED PARKING AND NO PARKING SIGNS ON SIGN POSTS (EXCEPT FOR RELOCATED EXISTING SIGNS ON BUILDING WALL AS NOTED); RE: 9, C502
17. "DO NOT ENTER" SIGN ON SIGN POST; RE: 9, C502
18. "ONE WAY" SIGN ON SIGN POST; RE: 9, C502
19. "RESERVED FOR TOWN STAFF" PARKING SIGN ON SIGN POST; RE: 9, C502
20. PRECAST WHEEL STOP, 7 TOTAL; RE: 13, C502
21. RELOCATED CARD READER WITH BASE ON NEW CONCRETE PAD AND RESTORE EXISTING LOCATION; RE: 4, C502. REFER TO ELECTRICAL DRAWINGS.
22. BOLLARDS, IN LINE WITH CARD READER POST, 2 TOTAL; RE: 10, C502
23. BOLLARDS, 4'-6" SPACING, 6 TOTAL, PROTECT UNDERGROUND COMMUNICATIONS LINE; RE: 10, C502
24. TWO RELOCATED / ONE NEW FLAGPOLE WITH FOUNDATIONS; RE: 12, C502
25. FOUNDATION FOR EXISTING MONUMENT TO BE RESET; RE: 2, C503
26. CONCRETE PAD AND BICYCLE RACK; RE: 4 & 11, C502
27. GROUND MOUNTED FLOOD LIGHTING, REFER TO ELECTRICAL
28. RELOCATED LAMP POST ON NEW FOUNDATION, REFER TO ELECTRICAL
29. RELOCATED OUTDOOR RECEPTACLE, REFER TO ELECTRICAL
30. TWO EMPTY 2" DIA. PVC ELECTRICAL CONDUITS FOR FUTURE USE, STUB AND CAP 4" ABOVE GRADE, REFER TO ELECTRICAL DETAILS
31. DRAINAGE STRUCTURE FRAME & GRATE ADJUSTMENTS BY OWNER TYP., COORDINATE WITH HIGHWAY DEPARTMENT; RE: 3, C503
32. NEW CATCH BASIN, RE: 1, C301, 4 & 7, C503. CONNECT TO EXISTING CATCH BASIN, RE: 5, C301
33. RELOCATED 2" GAS LINE AROUND ISLAND, RE: 6, C503. COORDINATE SHUT DOWN OF SERVICE WITH TOWN OF HAMBURG AND UTILITY COMPANY.
34. RELOCATION OF "PUBLIC PARKING", "ONE WAY", "DO NOT ENTER" SIGN
35. TEMPORARY RELOCATION OF DUMPSTERS TO ADJACENT GRASS AREA DURING MILLING AND PAVING AND RETURNING TO ORIGINAL LOCATION UPON COMPLETION OF WORK. COMPOST CONTAINER TO BE RELOCATED BY TOWN. ALL OTHER REFUSE CONTAINERS TO BE RELOCATED BY CONTRACTOR.

EXISTING LEGEND

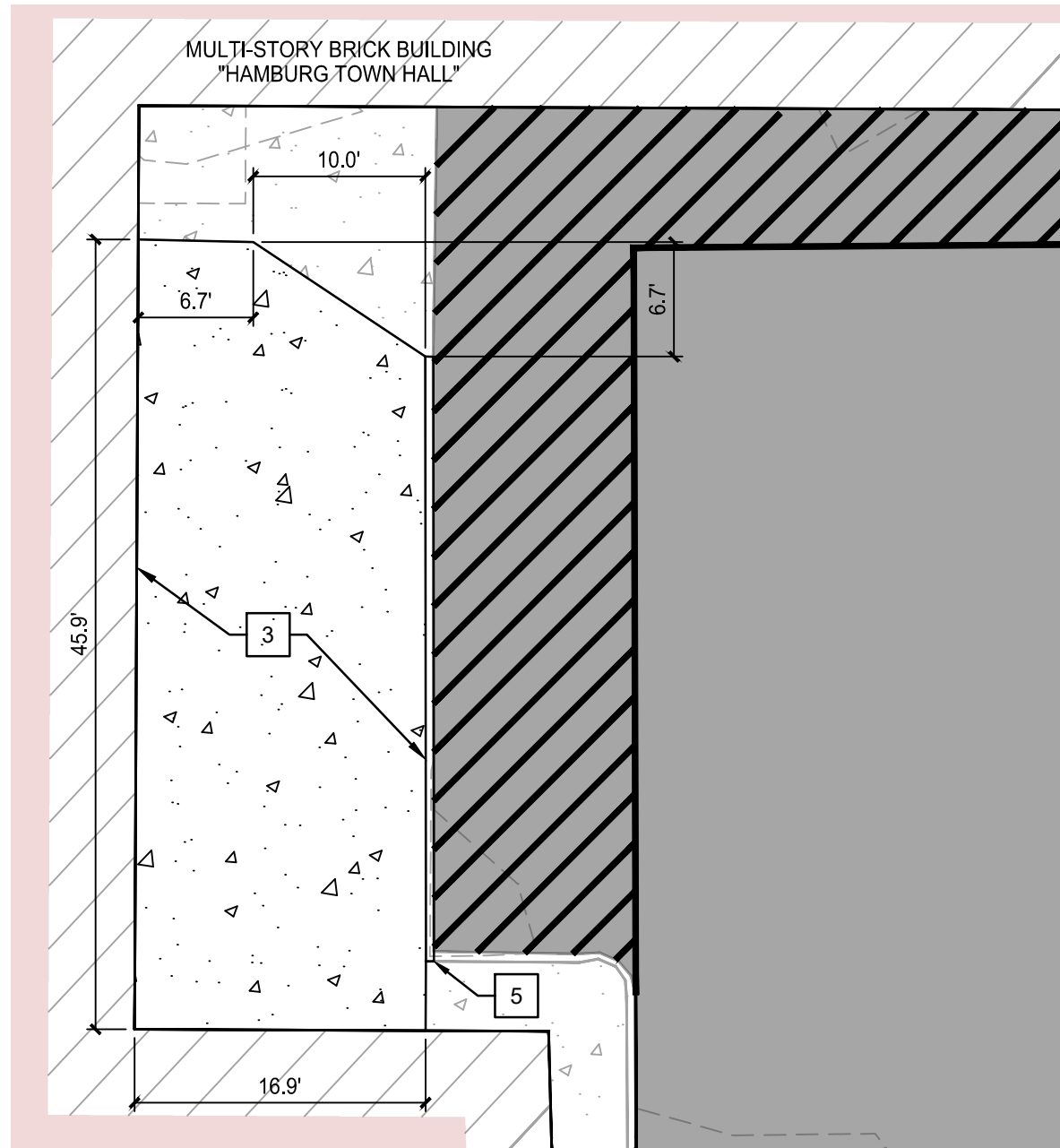
- EXISTING BUILDING OUTLINE
- EXISTING CONCRETE SIDEWALK/STAIRS/RAMPS/PADS
- EXISTING RIGHT OF WAY
- EXISTING ROAD CENTERLINE
- EXISTING CONTOUR
- EXISTING EDGE OF PAVEMENT
- EXISTING CURBING
- EXISTING CHAIN LINK FENCE
- EXISTING LANDSCAPING AREA
- EXISTING OPEN STONE
- EXISTING SANITARY SEWER
- EXISTING WATER LINE / APPURTENANCES
- EXISTING STORM SEWER
- EXISTING GAS LINE / APPURTENANCES
- EXISTING ELECTRIC / COMMUNICATIONS LINE
- EXISTING TREE
- EXISTING LIGHT POLE
- EXISTING DISPLAY LIGHTING
- EXISTING EXTERIOR ELECTRICAL OUTLET
- EXISTING POST MOUNTED SIGN

EXISTING PARKING COUNTS

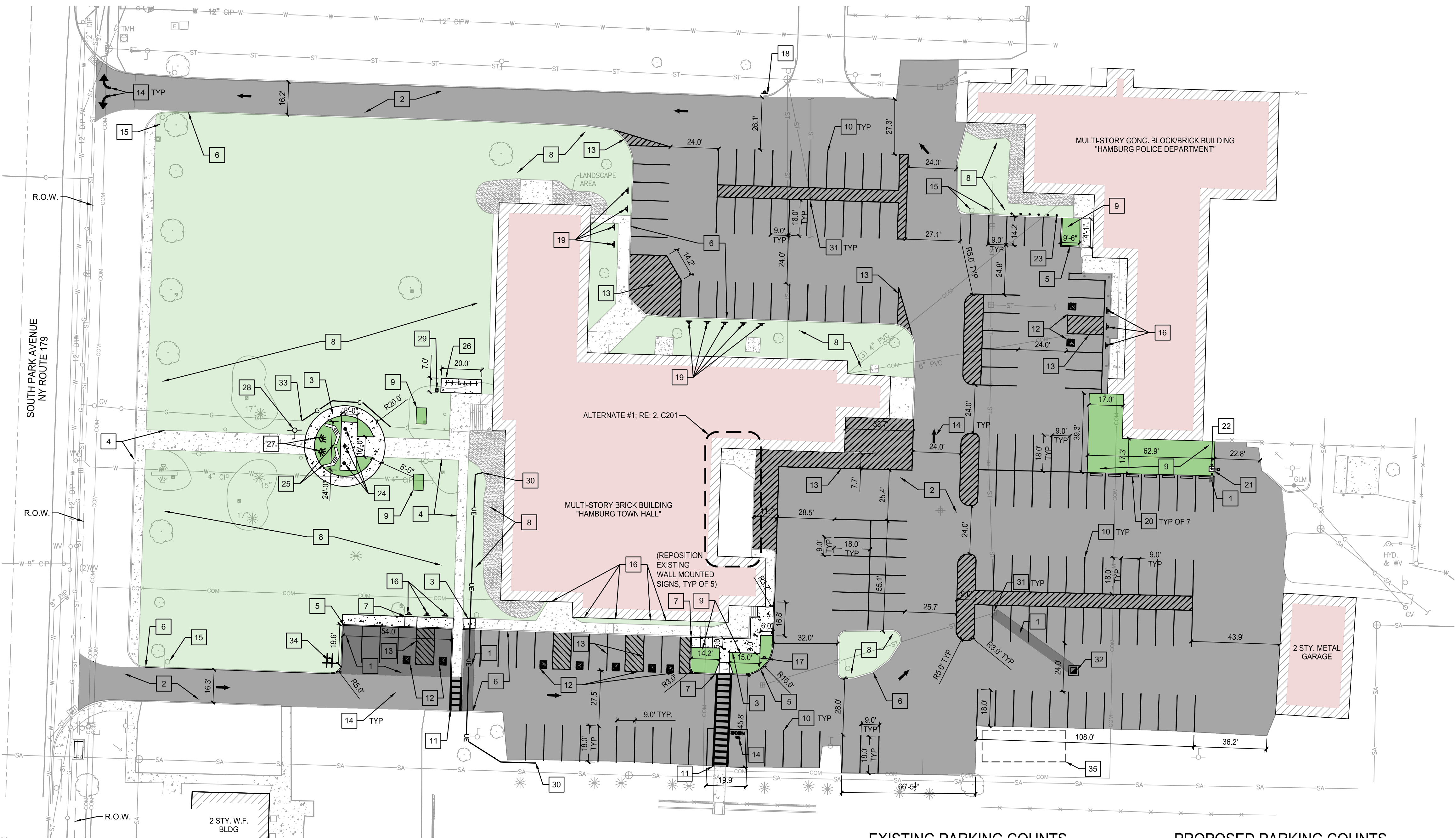
FRONT: 15 ALONG SOUTH PARK AVE.
REAR: 154 (12 ADA, 3 STAFF RESERVED, 139 STANDARD)
CHAMBER OF COMMERCE: 15 (2 ADA, 13 STANDARD)
TOTAL: 184 (14 ADA, 3 RESERVED, 167 STANDARD)

PROPOSED PARKING COUNTS

FRONT: 15 ALONG SOUTH PARK AVE. (NO CHANGE)
REAR: 152 (9 ADA, 9 STAFF RESERVED, 134 STANDARD)
CHAMBER OF COMMERCE: 15 (2 ADA, 13 STANDARD) (NO CHANGE)
TOTAL: 182 (11 ADA, 9 RESERVED, 162 STANDARD)



2 SITE LAYOUT PLAN - ALTERNATE # 1
SCALE: 1" = 10'



1 SITE LAYOUT PLAN - BASE BID
SCALE: 1" = 30'



**HAMBURG TOWN HALL
PARKING LOT
PROJECT #2025-06**

CONSTRUCTION DOCUMENTS

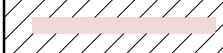
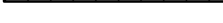





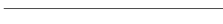







Wendel WD Architecture, Engineering, Surveying and
Landscape Architecture, P.C.

SURFACE LEGEND

ASPHALT PAVEMENT; RE: 1, C502
 ASPHALT PAVEMENT - MILL & OVERLAY; RE: 2, C502
 CONCRETE SIDEWALK; RE: 3, C502
 CONCRETE PAD; RE: 4, C502
 EXISTING LAWN TO REMAIN
 TOP SOIL AND TURF ESTABLISHMENT; RE: 1, 3, & 6, C502








EXISTING BUILDING OUTLINE	
EXISTING CONCRETE SIDEWALK/STAIRS/RAMPS/PADS	
EXISTING CONTOUR	
EXISTING EDGE OF PAVEMENT	
EXISTING CURBING	
EXISTING CHAIN LINK FENCE	
EXISTING LANDSCAPING AREA	
EXISTING OPEN STONE	
EXISTING SANITARY SEWER	
EXISTING WATER LINE / APPURTENANCES	
EXISTING STORM SEWER	
EXISTING GAS LINE / APPURTENANCES	
EXISTING ELECTRIC / COMMUNICATIONS LINE	

EXISTING TREE

EXISTING LIGHT POLE
EXISTING DISPLAY LIGHTING
EXISTING EXTERIOR ELECTRICAL OUTLET
EXISTING POST MOUNTED SIGN

PROPOSED LEGEND

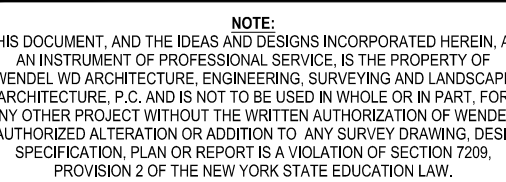
PROPOSED CONTOUR	811
SPOT ELEVATION	 811.00
TOP OF CURB / BOTTOM OF CURB ELEVATION	 TC 811.50 BC 811.00±
MATCH EXISTING ELEVATION	 ME 811.00±
MATCH EXISTING BOTTOM OF STAIR	 BS 811.00±
MATCH EXISTING BOTTOM OF WALL	 BW 811.00±

SITE DRAINAGE NOTES:

1. 24" SQ. PRECAST CONCRETE CATCH BASIN; RE: 4, C503
2. 12" DIA SMOOTH INTERIOR CORRUGATED HDPE; RE: 7, C503
3. CONNECT TO EXISTING STRUCTURE; RE: 5, C503

GRADING NOTES:

1. PROPOSED PAVEMENT ELEVATIONS SHALL MATCH EXISTING PAVEMENT EDGE ELEVATIONS AROUND PERIMETER OF MILL AND OVERLAY AREAS UNLESS OTHERWISE SPECIFIED.
2. PROPOSED PAVEMENT SLOPE SHALL BE ADJUSTED TO PROVIDE POSITIVE DRAINAGE TOWARD CATCH BASIN GRATES DURING THE MILL AND OVERLAY PROCESS.

[illegible]

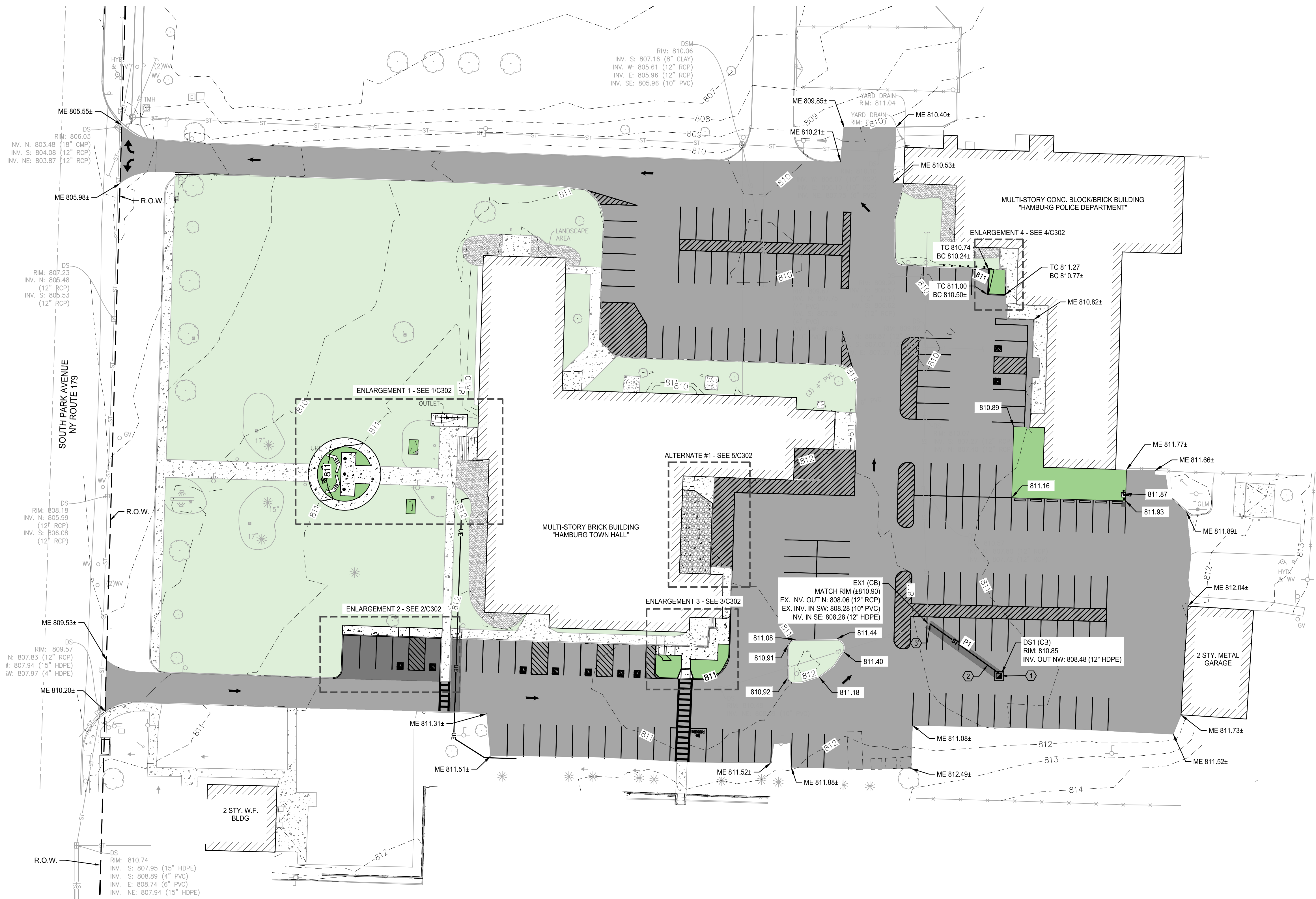
DWG. TITLE

OVERALL GRADING & DRAINAGE PLAN



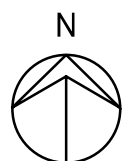
DATE	10/22/2025		
SCALE	AS NOTED		
WGN.	WGA	CHK.	SAR
PROJ. No.	300825PKLOT		
WG. No.			

C301



① OVERALL GRADING & DRAINAGE PLAN

SCALE: 1" = 30'





**HAMBURG TOWN HALL
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Landscape Architecture, P.C.

SURFACE LEGEND

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CONCRETE SIDEWALK; RE: 3, C502
CONCRETE PAD; RE: 4, C502
EXISTING LAWN TO REMAIN
TOP SOIL AND TURF ESTABLISHMENT



EXISTING BUILDING OUTLINE

EXISTING CONCRETE SIDEWALK/STAIRS/RAMPS/PADS

EXISTING CONTOUR

EXISTING SPOT ELEVATION

EXISTING EDGE OF PAVEMENT
EXISTING CURBING
EXISTING CHAIN LINK FENCE
EXISTING LANDSCAPING AREA
EXISTING OPEN STONE
EXISTING SANITARY SEWER
EXISTING WATER LINE / APPURTENANCES
EXISTING STORM SEWER
EXISTING GAS LINE / APPURTENANCES
EXISTING ELECTRIC / COMMUNICATIONS LINE

EXISTING TREE

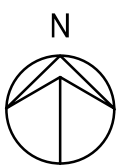
EXISTING LIGHT POLE
EXISTING DISPLAY LIGHTING
EXISTING EXTERIOR ELECTRICAL OUTLET
EXISTING POST MOUNTED SIGN

PROPOSED LEGEND

PROPOSED CONTOUR	811
SPOT ELEVATION	811.00
TOP OF CURB / BOTTOM OF CURB ELEVATION	TC 811.50 BC 811.00±
MATCH EXISTING ELEVATION	ME 811.00±
MATCH EXISTING BOTTOM OF STAIR	BS 811.00±
MATCH EXISTING BOTTOM OF WALL	BW 811.00±

GRADING NOTES:

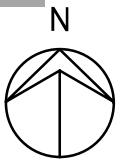
1. PROPOSED PAVEMENT ELEVATIONS SHALL MATCH EXISTING PAVEMENT EDGE ELEVATIONS AROUND PERIMETER OF MILL AND OVERLAY AREAS UNLESS OTHERWISE SPECIFIED.



1 BASE BID ENLARGEMENT 1
SCALE: 1" = 10'



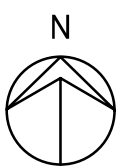
2 BASE BID ENLARGEMENT 2
SCALE: 1" = 10'



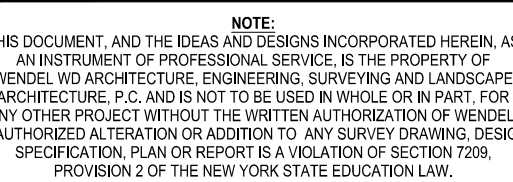
3 BASE BID ENLARGEMENT 3
SCALE: 1" = 10'



4 BASE BID ENLARGEMENT 4
SCALE: 1" = 10'



5 ALTERNATE #1 GRADING PLAN
SCALE: 1" = 10'

[illegible]

DWG. TITLE

GRADING & DRAINAGE PLAN ENLARGEMENTS



DATE	10/22/2025		
SCALE	AS NOTED		
WGN.	WGA	CHK.	SAR
PROJ. No.	300825PKLOT		
WG. No.			

C302