

N OVERALL SITE PLAN

SCALE: 1"=200'

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD MORRIS, D.P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
200' 0' 200' 400ft.

C-4.0

Project No.: 21.331



DRAWING NAME:
Overall
Site Plan

Date: 06/2022
Drawn By: JPB
Scale: As Noted

DRAWING NO.

**CARMINWOOD
DESIGN**

111 Bain Street, Suite 332
Greensboro, North Carolina 27406
Phone: (336) 937-9009

Hamburg Crossings

5220 Camp Road
Hamburg, NY 14075
BDC Property ID # 4148

SITE DATA		
SITE AREA = 79.91 ACRES		
ZONED: C2-GENERAL COMMERCIAL DISTRICT		
BUILDINGS: 308,499 G.S.F. WAREHOUSE BLDG "A", 156,960 G.S.F. WAREHOUSE BLDG "B", 108,000 G.S.F. WAREHOUSE BLDG "C", 1120,795 G.S.F. WAREHOUSE BLDG "D", & 108,000 G.S.F. WAREHOUSE BLDG "E"		
SETBACKS-BUILDING	REQUIRED	PROVIDED
FRONT	40 FT	54.29 FT MIN.
SIDE	5 FT	71.43 FT MIN.
SIDE ABUTTING RESIDENTIAL	20 FT, OR HT. OF BLDG	255.78 FT MIN.
SIDE (VEHICULAR INGRESS OR EGRESS):	12 FT	71.43 FT MIN.
SIDE (VEHICULAR INGRESS AND EGRESS):	25 FT	71.43 FT MIN.
REAR	10 FT	278.72 FT MIN.
REAR ABUTTING RESIDENTIAL	20 FT, OR HT. OF BLDG	278.72 FT MIN.
SETBACKS-PARKING		
ANY STREET LINE	35 FT	40.17 FT MIN.
OTHER PROPERTY LINES	5 FT	25.0 FT MIN.
ANY RESIDENTIAL DISTRICT BOUNDARY	10 FT	113.86 FT MIN.
PARKING		
# OF SPACES		PER PLANNING BOARD
PARKING SPACE SIZE		1,072 9' x 18'
MAX. LOT COVERAGE	85% MAX. (67.9 ACRES)	56.8% (45.4 ACRES)
MAX. BUILDING HEIGHT	35 FT MAX.	<35 FT
LOT WIDTH AT THE BLDG LINE	100 FT MIN.	> 100 FT
LANDSCAPING		
INTERIOR PARKING AREA	5% OF INTERIOR PARKING (0.46 AC)	5.8% (0.53 AC)
TOTAL SITE	15% OF OVERALL SITE (11.9 AC)	43.1% (34.5 AC)

CARMINWOOD DESIGN

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DRAWING NAME:
Site Plan
(Area 1)

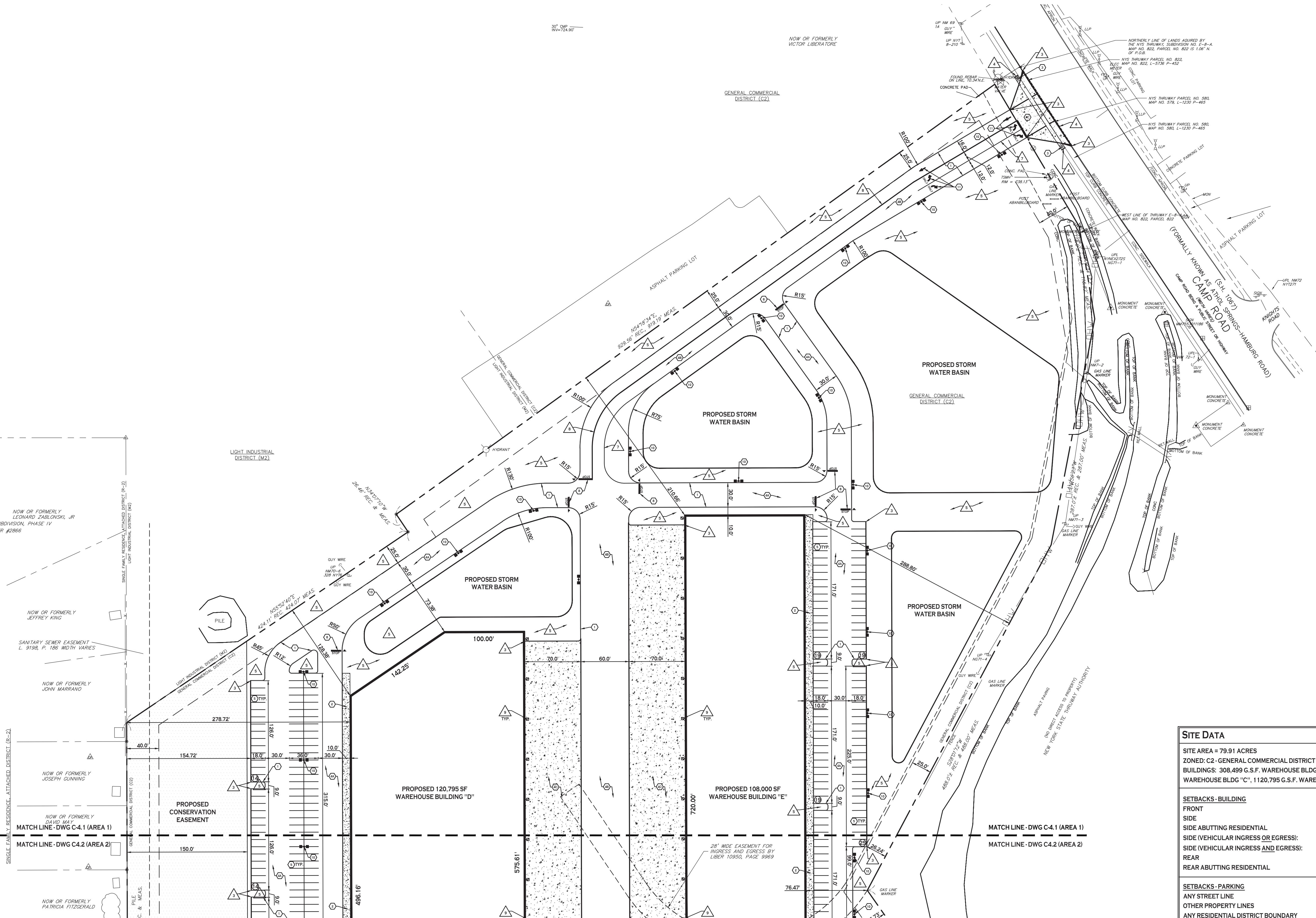
Date: 06/2022
Drawn By: JPB
Scale: As Noted

DRAWING NO. C-4.1

Project No. 21.331

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60' 0' 60' 120FT.



SITE LEGEND	
PROPERTY LINE	—
PROPOSED CONCRETE CURB	—
PROPOSED CONCRETE SIDEWALK	—
PROPOSED SIGN	●
PROPOSED PARKING NUMBER	(27)
PROPOSED LIGHT POLE	■
PROPOSED WALL MOUNTED LIGHT	□

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TOTAL SITE	15% OF OVERALL SITE (11.9 AC)	43.1% (34.5 AC)

NOTE LEGEND

- 1. INSTALL "NO PARKING" SIGN, M.U.T.C.D. SIGN NO. P1-1C
- 2. 4" WIDE YELLOW PAINT STRIPE @ 45° & 2' O.C., INFILL AREA AS SHOWN
- 3. RUNOUT CURB IN 2' OR MATCH EXISTING CURB
- 4. MATCH EX. EDGE OF PAVEMENT &, OR S.W., SAWCUT AS REQ'D TO ACHIEVE SQUARE EDGE TO MATCH
- 5. LANDSCAPED AREA - SEE LANDSCAPE PLAN, IF NO PLANTINGS, INSTALL TOPSOIL & SEED
- 6. 1' WIDE WHITE PAVEMENT STRIPE @ 1' SPACING BETWEEN 4" WIDE WHITE CROSSWALK LINES WITH PEDESTRIAN CROSSING SIGN, M.U.T.C.D. SIGN NO. W5-1C
- 7. 4" WIDE WHITE PAVEMENT STRIPE
- 8. 4" WIDE DOUBLE YELLOW PAVEMENT STRIPES
- 9. BUILDING WALL-PACK LIGHT, SEE LIGHTING PLAN

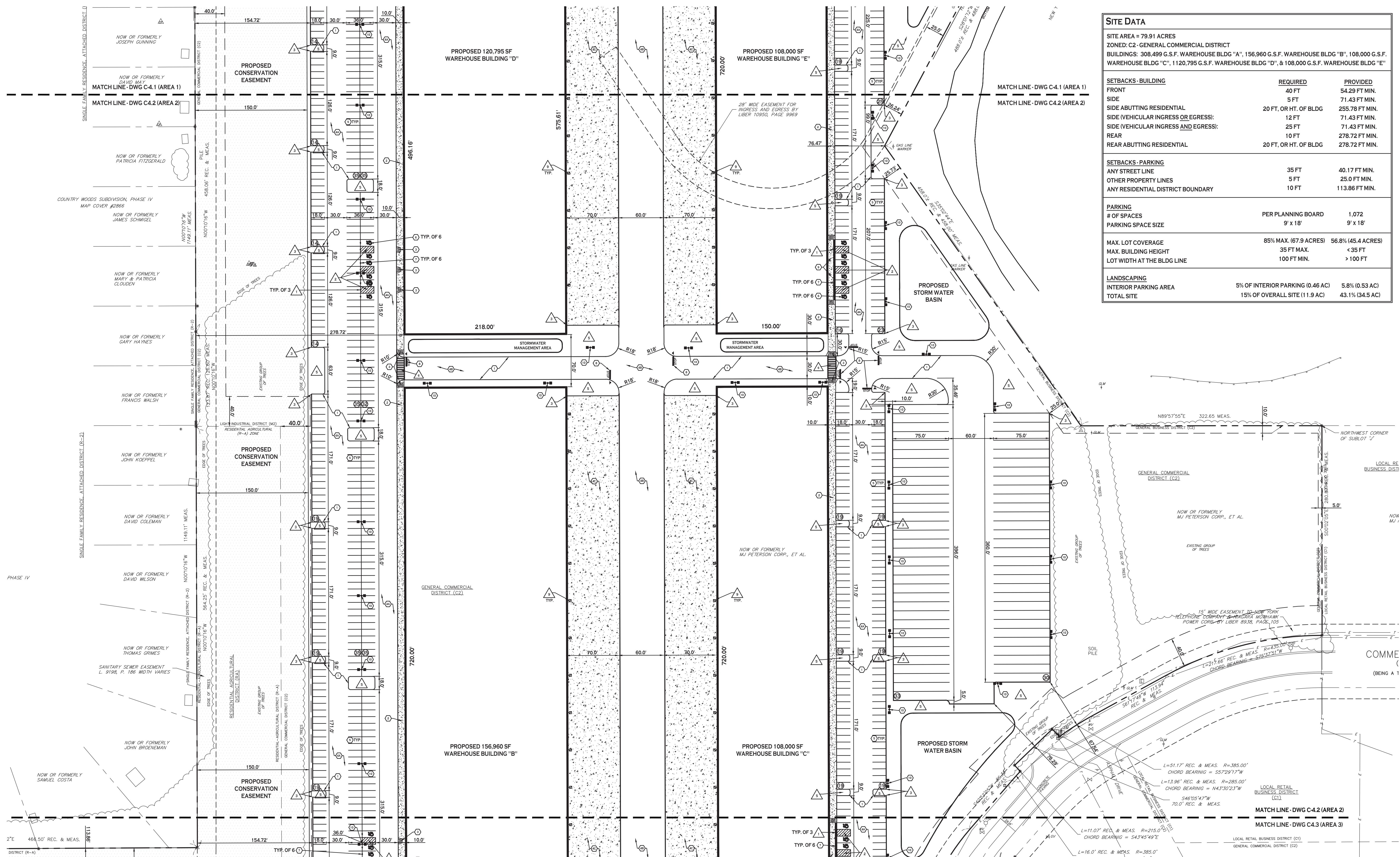
DETAIL LEGEND SEE SITE DETAIL SHEET

- 1 CONCRETE CURB
- 2 CONCRETE SIDEWALK WITH UNDERDRAIN & SOCK
- 3 SIDEWALK CURB RAMP
- 4A STANDARD DUTY ASPHALT
- 4B HEAVY DUTY ASPHALT
- 4C EXTERIOR CONCRETE SLAB ON GRADE
- 5 90° PARKING STALL
- 6 HANDICAPPED PARKING MARKINGS
- 7 STOP BAR W/ M.U.T.C.D. SIGN NO. R1-1
- 8 HANDICAPPED PARKING SIGN
- 9 HANDICAP PAVEMENT RAMP
- 10 LIGHT POLE FOUNDATION, SEE LIGHTING PLAN

SITE PLAN

SCALE: 1"=60'





NOTE LEGEND

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DETAIL LEGEND SEE SITE DETAIL SHEET

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- 10 4" WIDE WHITE PAVEMENT STRIPE
- 11 4" WIDE DOUBLE YELLOW PAVEMENT STRIPES
- 12 BUILDING WALL-PACK LIGHT, SEE LIGHTING PLAN

SITE DATA		
SITE AREA = 79.91 ACRES		
ZONED: C2 - GENERAL COMMERCIAL DISTRICT	REQUIRED	PROVIDED
BUILDINGS: 308,499 G.S.F. WAREHOUSE BLDG "A", 156,960 G.S.F. WAREHOUSE BLDG "B", 108,000 G.S.F. WAREHOUSE BLDG "C", 1120,795 G.S.F. WAREHOUSE BLDG "D", & 108,000 G.S.F. WAREHOUSE BLDG "E"	FRONT	40 FT 5 FT 20 FT, OR HT. OF BLDG
	SIDE	54.49 FT MIN. 71.43 FT MIN. 71.43 FT MIN.
	SIDE ABUTTING RESIDENTIAL	25.57 FT MIN.
	SIDE (VEHICULAR INGRESS OR EGRESS):	12 FT 25 FT
	REAR	71.43 FT MIN.
	REAR ABUTTING RESIDENTIAL	10 FT 27.82 FT MIN. 27.82 FT MIN.
SETBACKS-BUILDING		
SETBACKS-PARKING	ANT STREET LINE	35 FT 5 FT 10 FT
OTHER PROPERTY LINES	40.17 FT MIN. 25.0 FT MIN. 113.86 FT MIN.	
ANY RESIDENTIAL DISTRICT BOUNDARY	PARKING	# OF SPACES PARKING SPACE SIZE
	PER PLANNING BOARD	1,072 9' x 18'
	MAX. LOT COVERAGE	85% MAX. (67.9 ACRES) 56.8% (45.4 ACRES)
	MAX. BUILDING HEIGHT	35 FT MAX. <35 FT
	LOT WIDTH AT THE BLDG LINE	100 FT MIN. >100 FT
LANDSCAPING		
INTERIOR PARKING AREA	5% OF INTERIOR PARKING (0.46 AC)	5.8% (0.53 AC)
TOTAL SITE	15% OF OVERALL SITE (11.9 AC)	43.1% (34.5 AC)

CARMINAWOOD DESIGN

Hamburg Crossings
5220 Camp Road
Hamburg, NY 14075
BDC Property ID # 4148

REVISIONS: _____
No. _____ Description: _____ Date: _____



DRAWING NAME:
Site Plan
(Area 2)

Date: 06/2002
Drawn By: JPB
Scale: As Noted

DRAWING NO.

C-4.2

Project No.: 21.331

N SITE PLAN
SCALE: 1"=60'

60' 0' 60' 120ft

CARMINWOOD DESIGN

Hamburg Crossings

5220 Camp Road
Hamburg, NY 14075
BDC Property ID # 4148

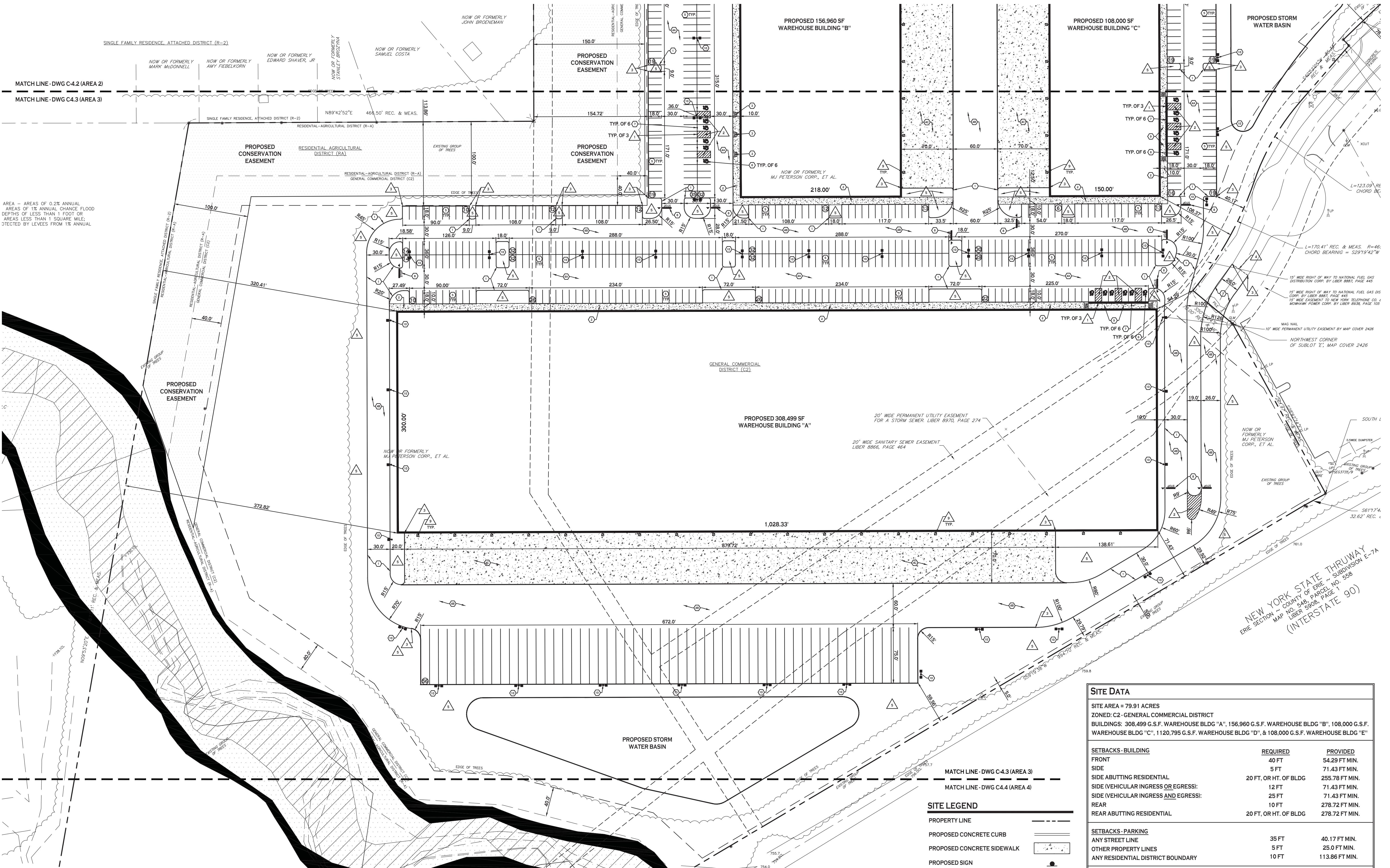


DRAWING NAME:
Site Plan
(Area 3)

Date: 06/2022
Drawn By: JPB
Scale: As Noted

DRAWING NO.
C-4.3

Project No.: 21.331



DETAIL LEGEND SEE SITE DETAIL SHEET

- 1 CONCRETE CURB
- 2 CONCRETE SIDEWALK WITH UNDERDRAIN & SOCK
- 3 SIDEWALK CURB RAMP
- 4A STANDARD DUTY ASPHALT
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- 4C EXTERIOR CONCRETE SLAB ON GRADE
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- 6 HANDICAPPED PAVEMENT MARKINGS
- 7 STOP BAR W/ M.U.T.C.D. SIGN NO. R1-1
- 8 HANDICAPPED PAVEMENT RAMP
- 9 LIGHT POLE FOUNDATION, SEE LIGHTING PLAN

NOTE LEGEND

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- 2 4" WIDE YELLOW PAINT STRIPE @ 45° & 2 O.C., INFILL AREA AS SHOWN
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- 7 4" WIDE WHITE PAVEMENT STRIPE
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PARKING	# OF SPACES	PER PLANNING BOARD	1.072
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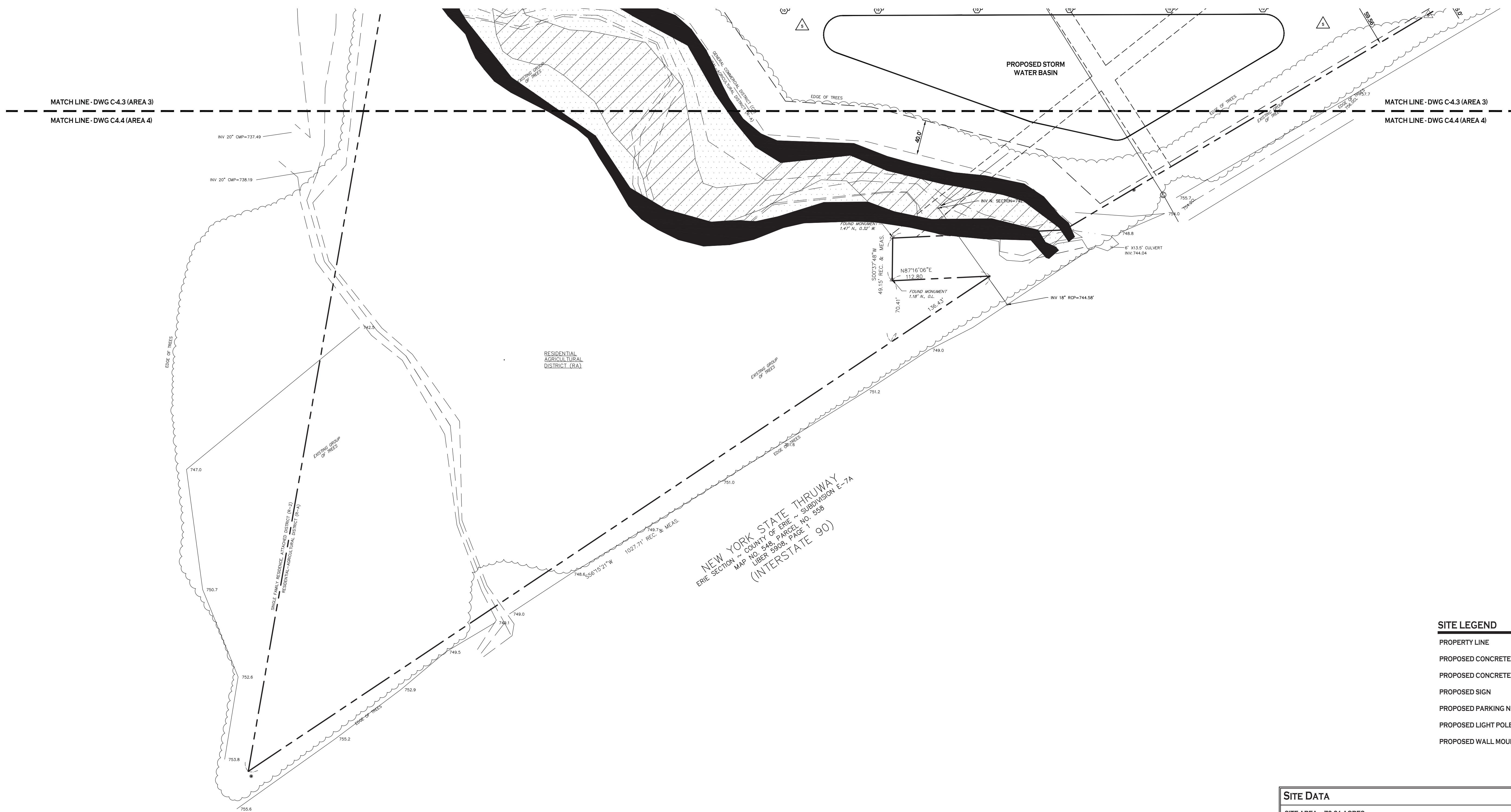
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N SITE PLAN
SCALE: 1"=60'

60' 0' 60' 120Ft.

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Phone: (336) 937-9009

467 Main Street, Suite 500
Buffalo, New York 14203
Phone: (716) 842-3165



NOTE

ALL REASONABLE MEASURES SHALL BE TAKEN TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE; INCLUDING BUT NOT LIMITED TO, RETAINING WALLS WHICH PREVENT FILLING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS.

NOTE

1. ALL RADII SHALL BE 3'-0" UNLESS OTHERWISE NOTED.

2. ALL DISTURBED AREAS: SHALL HAVE 4" MIN. OF TOPSOIL & SEED.

3. ALL DIMENSIONS FROM PROPERTY LINES SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE.

4. CENTER ENTRANCE SIDEWALKS ON DOOR OPENINGS.

5. BUILDING DIMENSIONS ARE APPROXIMATE, REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.

DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.

6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.

7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THE WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.

8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.

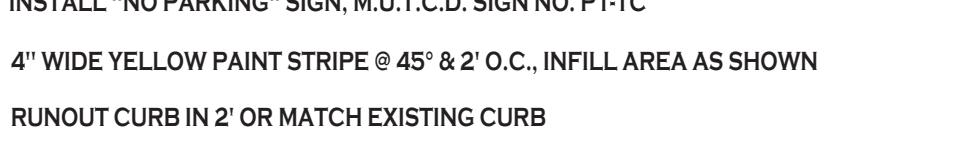
GENERAL

1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
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DETAIL LEGEND SEE SITE DETAIL SHEET

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 - 2 CONCRETE SIDEWALK WITH UNDERDRAIN & SOC**
 - 3 SIDEWALK CURB RAMP**
 - 4A STANDARD DUTY ASPHALT**
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 - 5 90° PARKING STALL**
 - 6 HANDICAP PAVEMENT MARKINGS**
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NOTE LEGGE

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DRAWING NAME

Site Plan

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Drawn By: JP

DRAWING NO.

144

C-4.4

Project No: 21.331



SITE PLAN

SCALE: 1"=60'

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