

GENERAL NOTES:

1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN .
11. CONCRETE SIDEWALK SEALERS: (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.)
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
 - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APRX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK
FOR A PERIOD OF ONE YEAR FROM THE DATE OF
OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY
AND ALL STRUCTURES.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE
IN VIOLATION OF SECTION #7209 OF THE STATE
EDUCATION LAW.



PROPERTY NUMBER: #2124 AREA:

A horizontal black bar with a vertical black tick mark at its center.

6 | Page

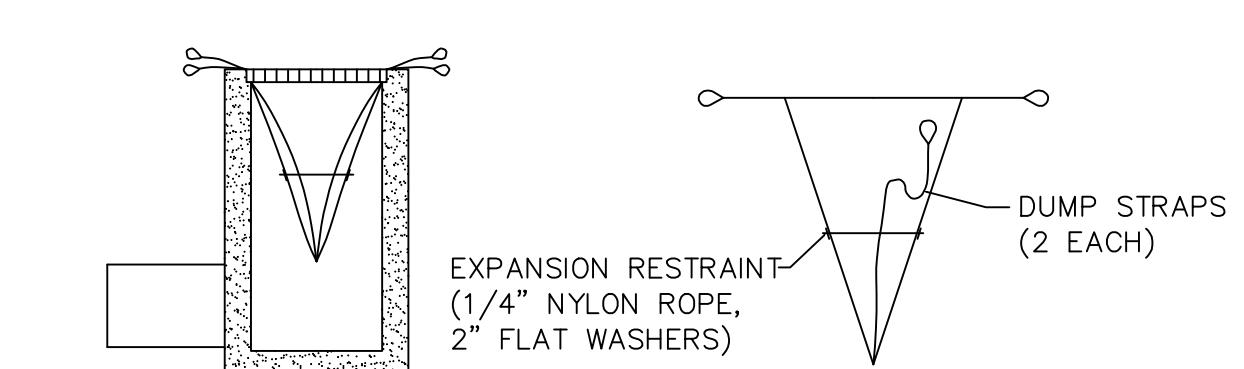
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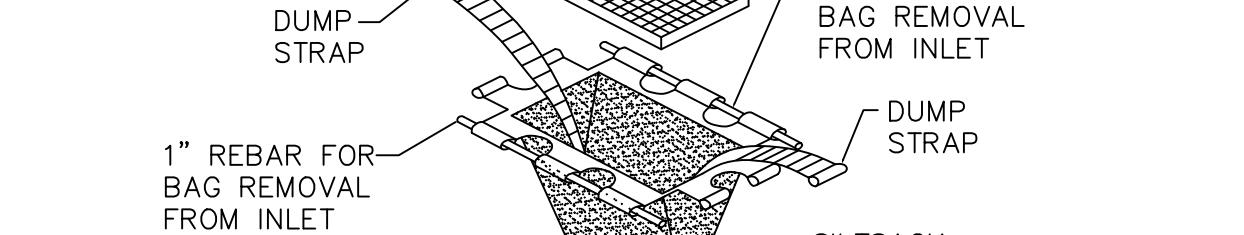
McKinley Co 4154 McKinley Town of Hamburg

CONSULTANT

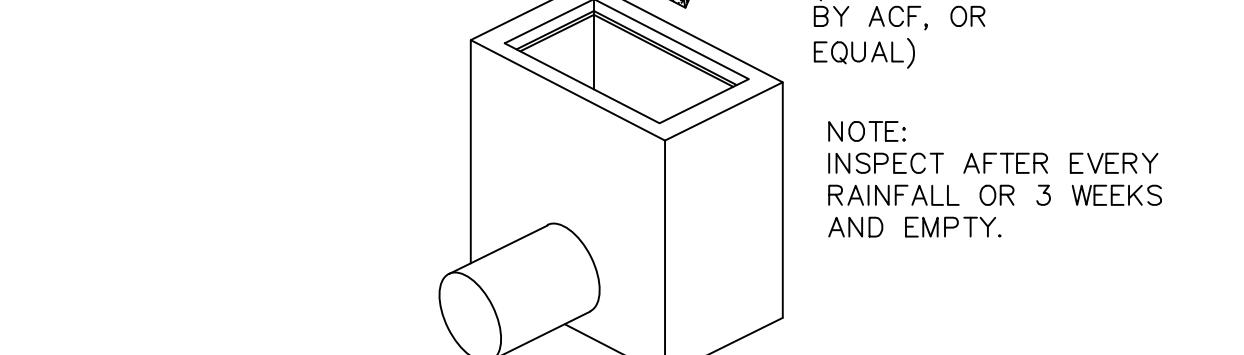
JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 896-0211



1" REBAR FOR



SILTSACK
(MANUFACTURED



—
—
—

TITLE: Demolition and Erosion Control Plan

SCALE:

DRAWN BY: D R A W I N G N O .
DMZ

CHECKED BY: MAO C3 0

DATE:
02.15.2023

02.10.2023

PROPOSED PARKING ANALYSIS

USE	CODE	REQUIRED*	PROVIDED
SHOPPING CENTER	1 SPACE / 200 SF OF NET S.F.	$43,796 \text{ S.F.} * 0.85 = 37,225 \text{ S.F.}$ $37,225 \text{ S.F.} / 200 =$ <u>186 SPACES</u>	
TOTAL		186 SPACES	191 SPACES

* Parking Analysis based off Industry Standard for a Typical mixed use shopping center
Code: 1 Space / 200 S.F. of Net Square Footage.
Net Square Footage of Mixed Use shopping center equals 85% of Gross Square Footage

TOWN OF HAMBURG, NY ZONING ANALYSIS

	REQUIRED	PROVIDED
ZONED	C-2	C-2
MAX. LOT AREA	-	4.17 Acres
MAX. BUILDING HEIGHT	≤35'	30'
EXISTING LOT COVERAGE	≤ 85%	80.4%
PROPOSED LOT COVERAGE	≤ 85%	80.2%
BUILDING SETBACKS:		
FRONT	40'	91.6'
SIDE	25'	33.3'
REAR	10'	32.7'
DUMPSTER (SIDE/REAR)	8'	15'
PARKING SETBACKS:		
FRONT (MCKINLEY PKWY)	35'	43.5'
FRONT PL	10'	20'
SIDE	N/A	N/A
REAR	N/A	N/A

NB:
Curb Island Dimensions are measured from the inside of curb.



**Know what's below.
Call before you dig.**

PROPERTY NUMBER: 24 AREA: -

AREA:

PROPOSED SITE MODIFICATIONS

**McKinley Commons
4154 McKinley Parkway
Town of Hamburg, NY 14219**

PROPOSED

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

BENDERSON
DEVELOPMENT

570 DELAWARE AVE., BUFFALO, NY 14202
(716) 826-0211

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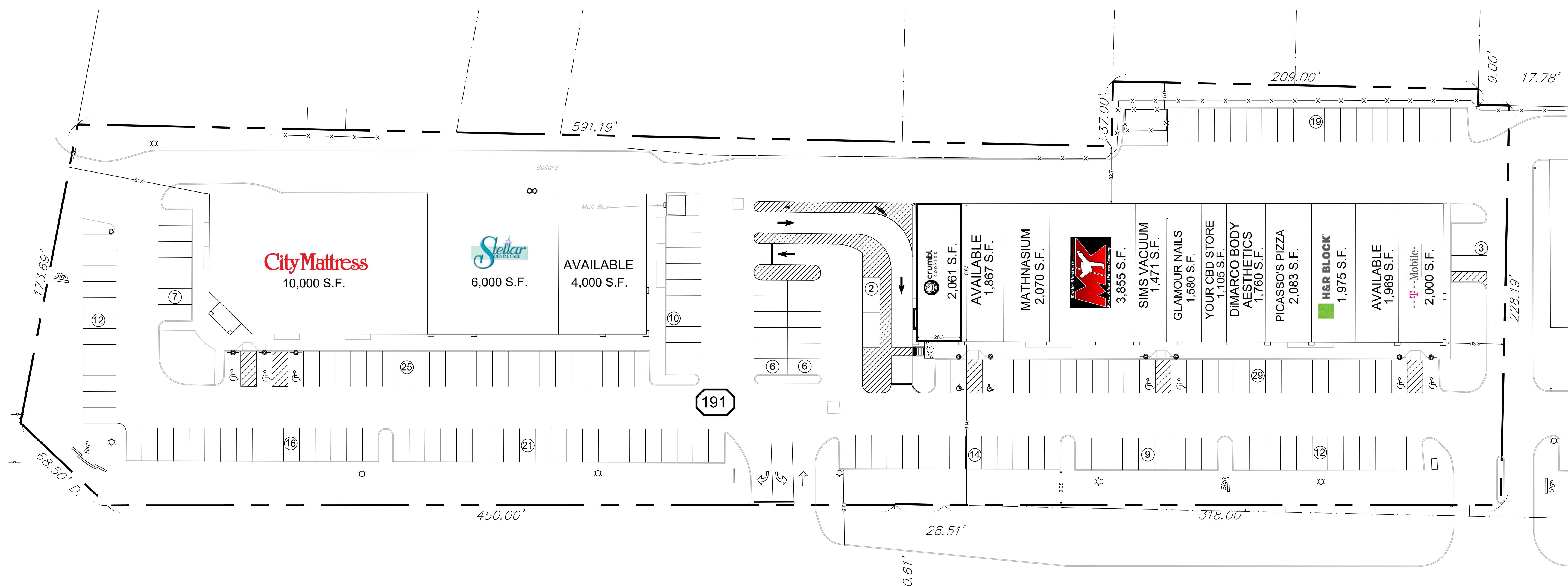
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SCALE:
1" = 30'
DRAWN BY: DMZ
DRAWING NO.
CHECKED BY:
MAO
DATE:
02.15.2023

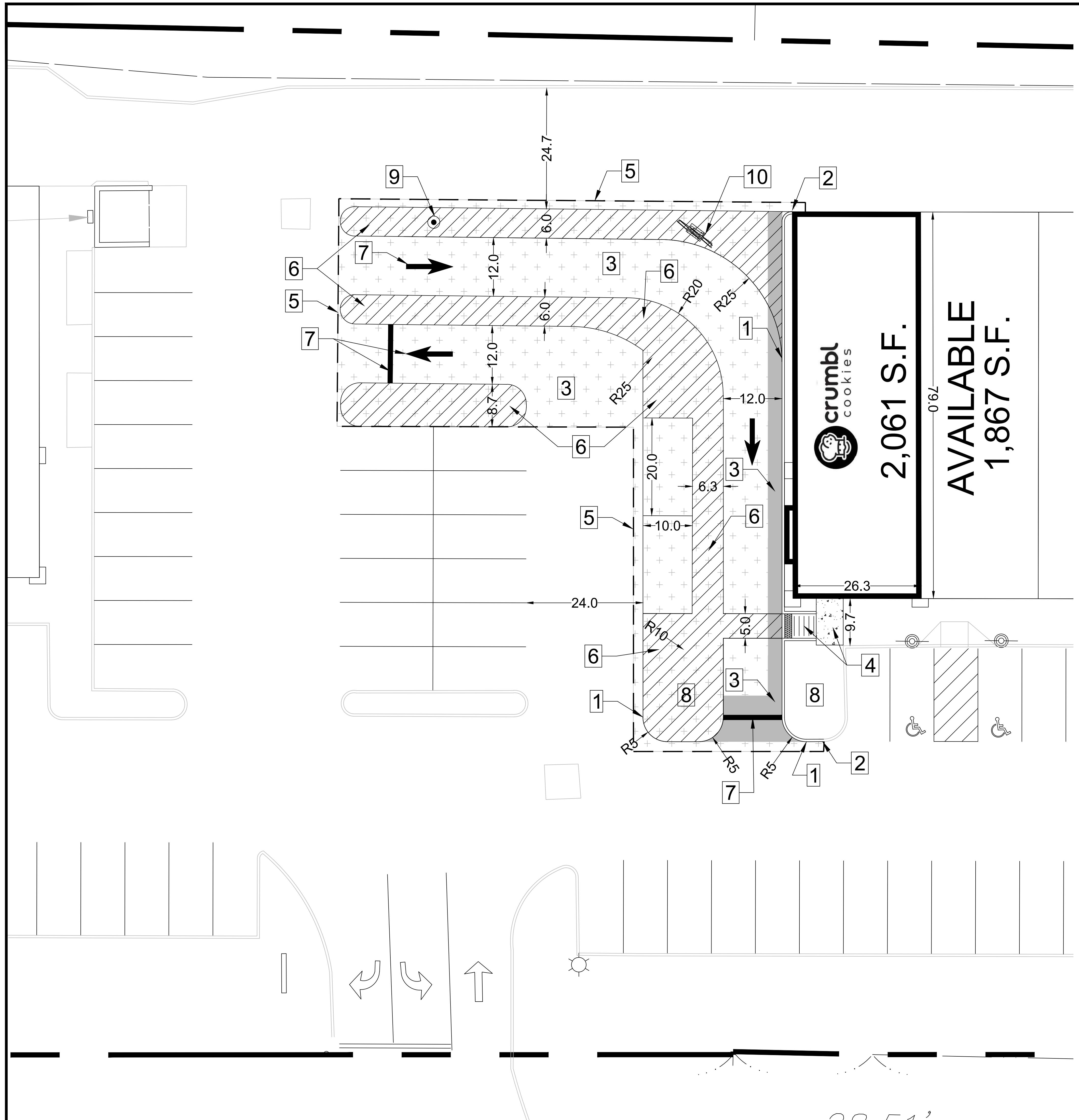
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(WIDTH VARIES)

PARKWAY

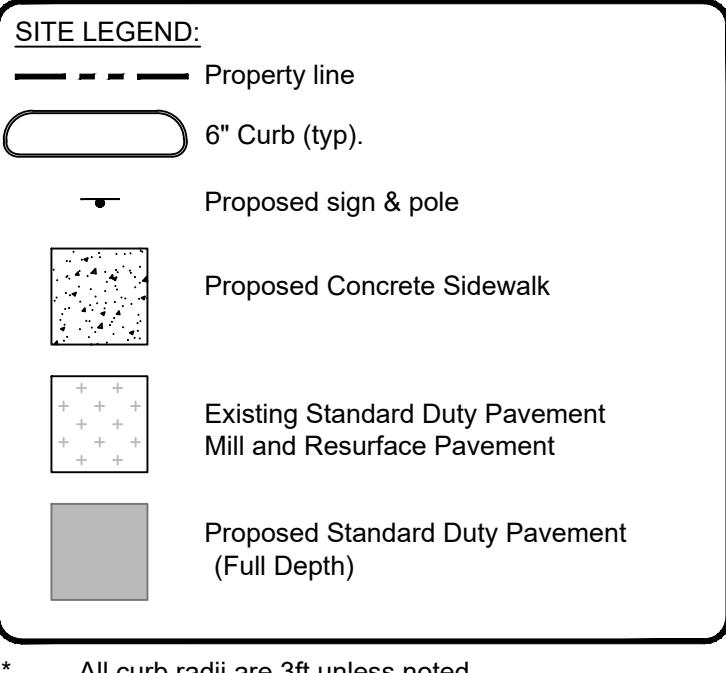


C4.0



GENERAL NOTES:

1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
4. CONTRACTOR SHALL MAINTAIN A VERTICALLY EQUIPPED VEHICLE AND DUMP TRUCK AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INTEGRITY DURING CONSTRUCTION.
6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING CONSTRUCTION OR INSTALLATIONS. EXCEPT AS DETAILED ON THE PLANS, COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR THIS WORK.
9. BULK MATERIALS SHALL NOT BE STORED ON THE PROPERTY. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.
11. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED. AFTER DRYING, WASH THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS) SPRAY ONCE MORE CHEMMASTERS POLYSEAL.
12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
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* All curb radii are 3ft unless noted.
Refer to General Notes, Construction Details and Architectural Plans for Concrete Sealer information.

SITE NOTES: #1

1. Proposed 6" concrete Curb.
2. Match into Existing Curb.
3. Proposed Standard Duty Pavement Section.
4. Proposed Concrete Sidewalk/Ramp.
5. Match into Existing Pavement.
6. 4" Yellow Pavement Stripe (at 2' c-c in no parking zones).
7. Proposed White Pavement symbol (stop bar, directional arrows, accessibility symbol, text)
8. Proposed Landscape Area.
9. Relocated Light Pole Base
10. Proposed Tenant equipment

NB: All curb Radii to be 3' unless otherwise noted.

McKinley Commons
4154 McKinley Parkway
Town of Hamburg, NY 14219
PROPOSED SITE MODIFICATIONS

CONSULTANT

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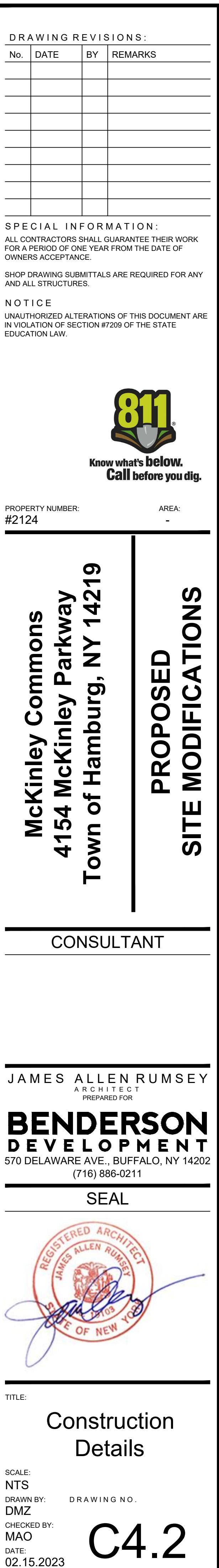
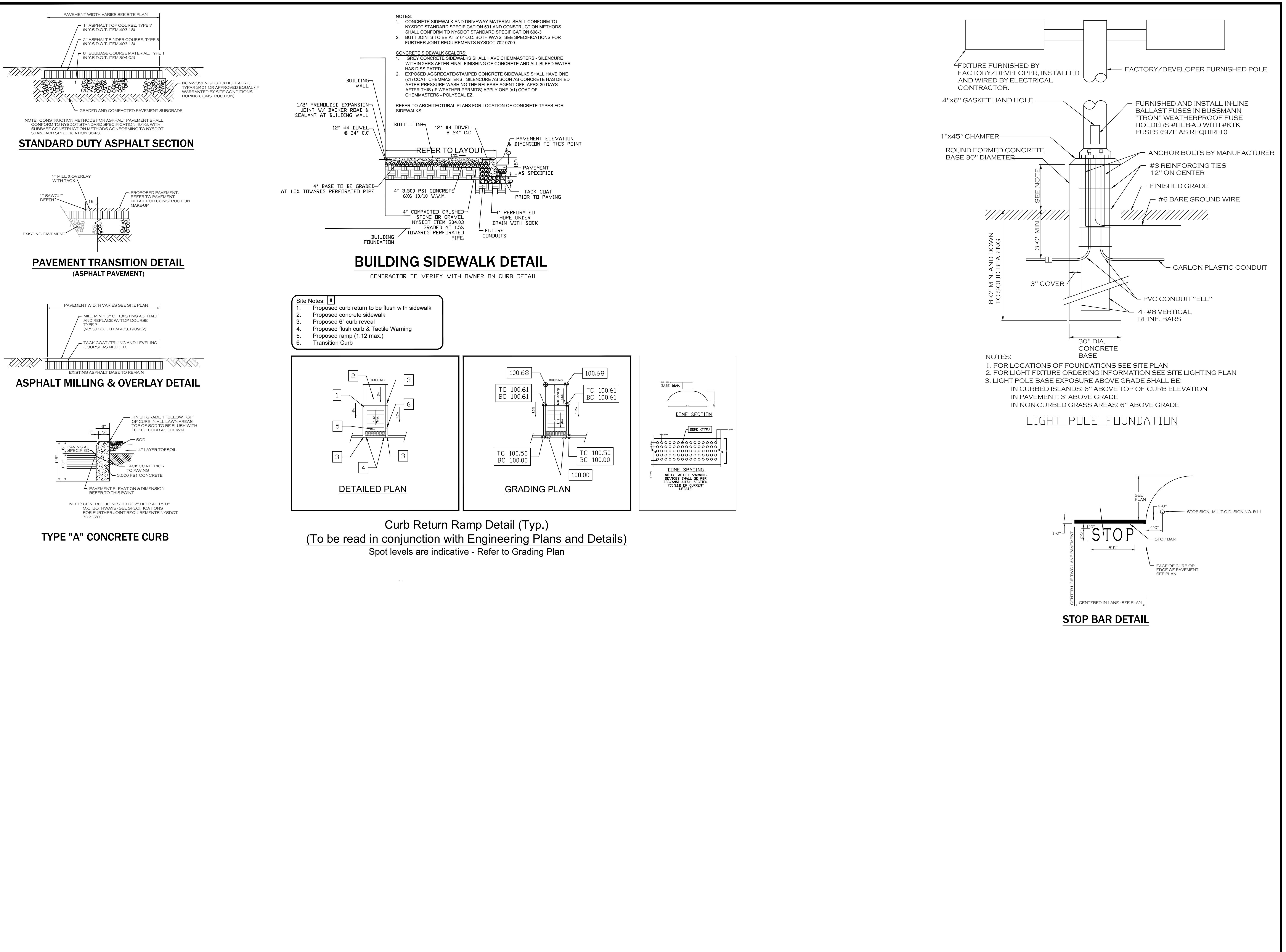
SEAL

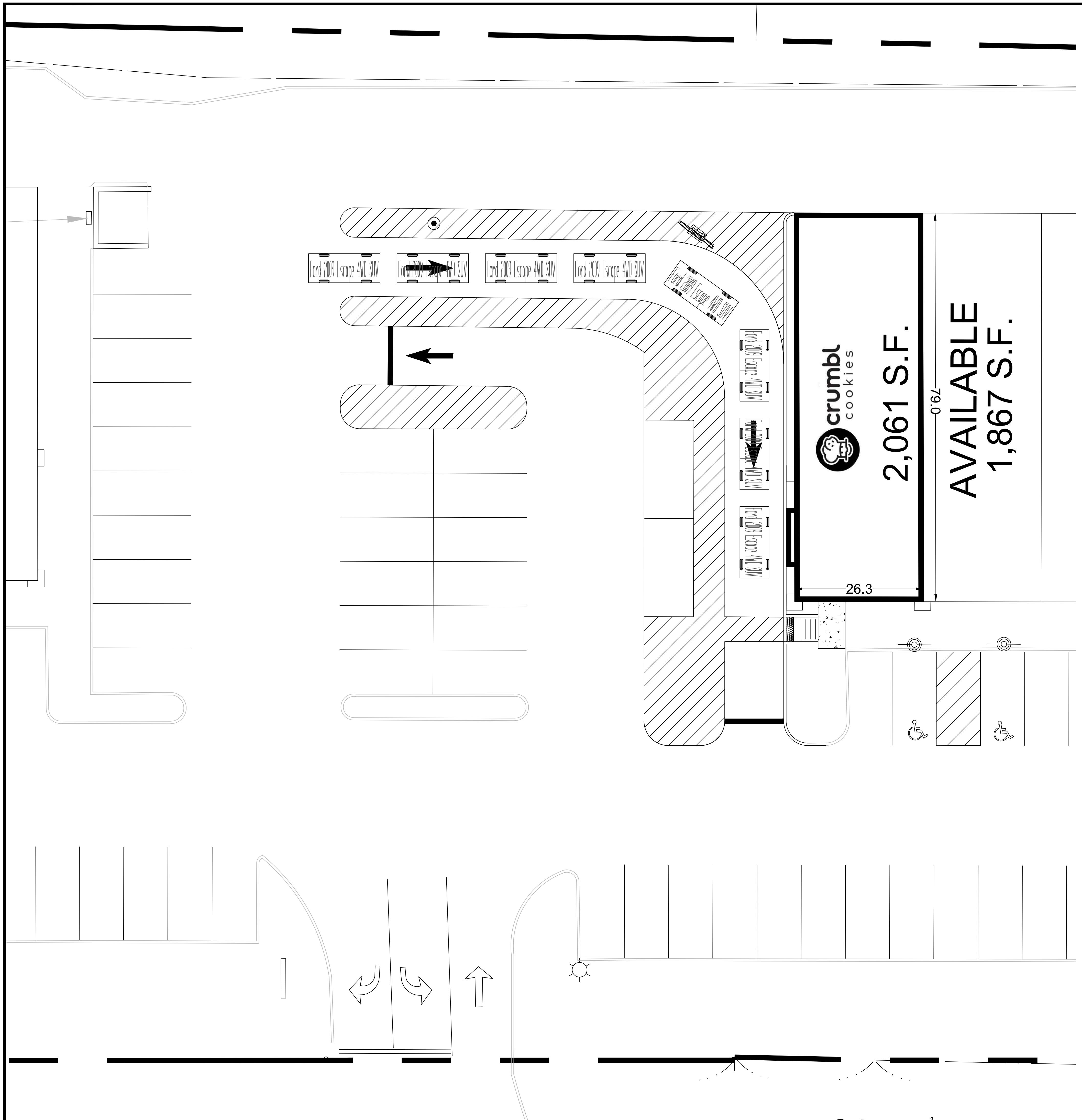


TITLE:
Detailed Site Plan

SCALE:
1" = 10'
DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
02.15.2023

C4.1





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PROPERTY NUMBER: 2124 AREA: -

A thick black horizontal bar with a small black vertical bar extending downwards from its center.

**McKinley Commons
4154 McKinley Parkway
Town of Hamburg, NY 14219**

**PROPOSED
SITE MODIFICATIONS**

CONSULTANT

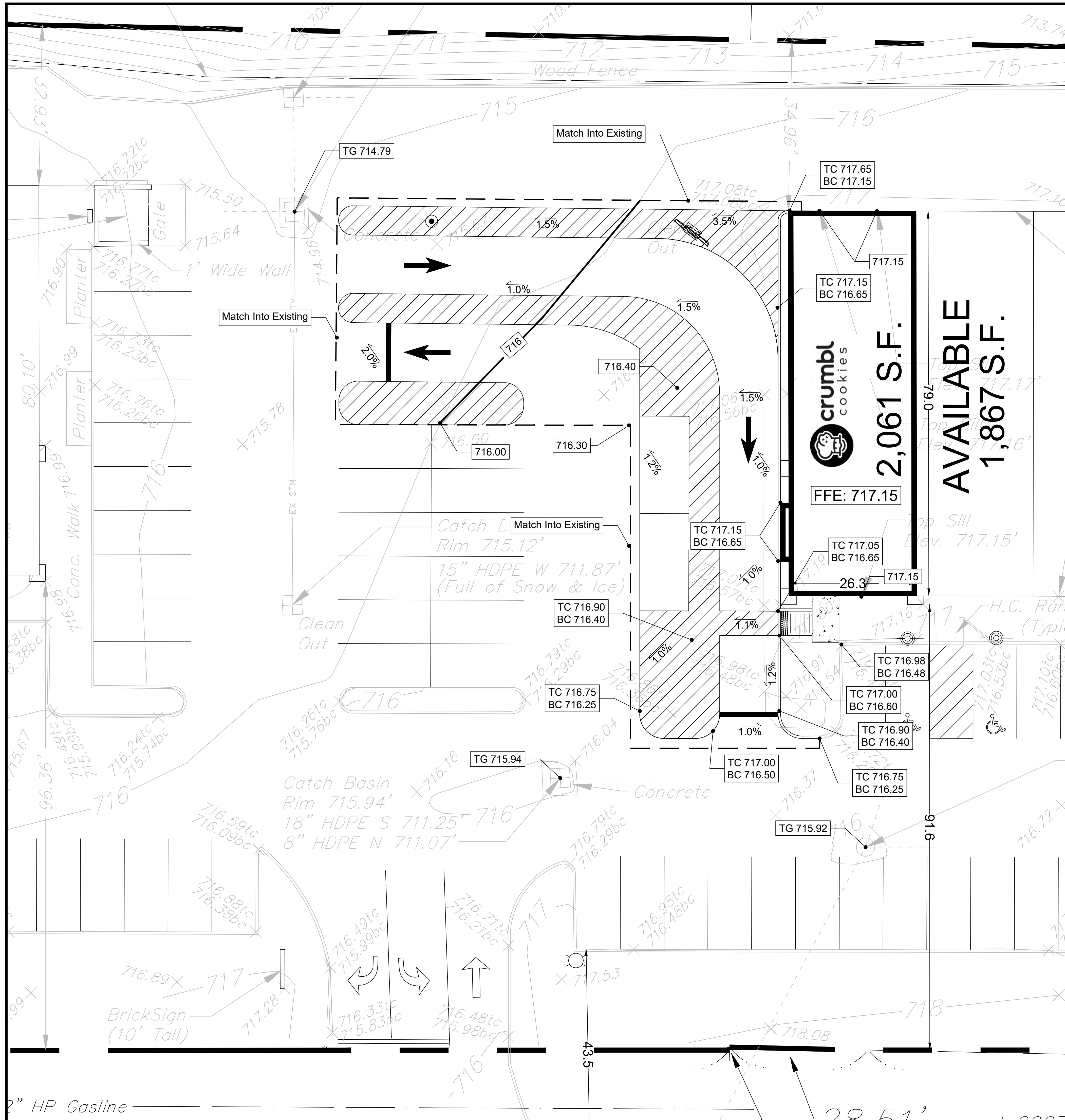
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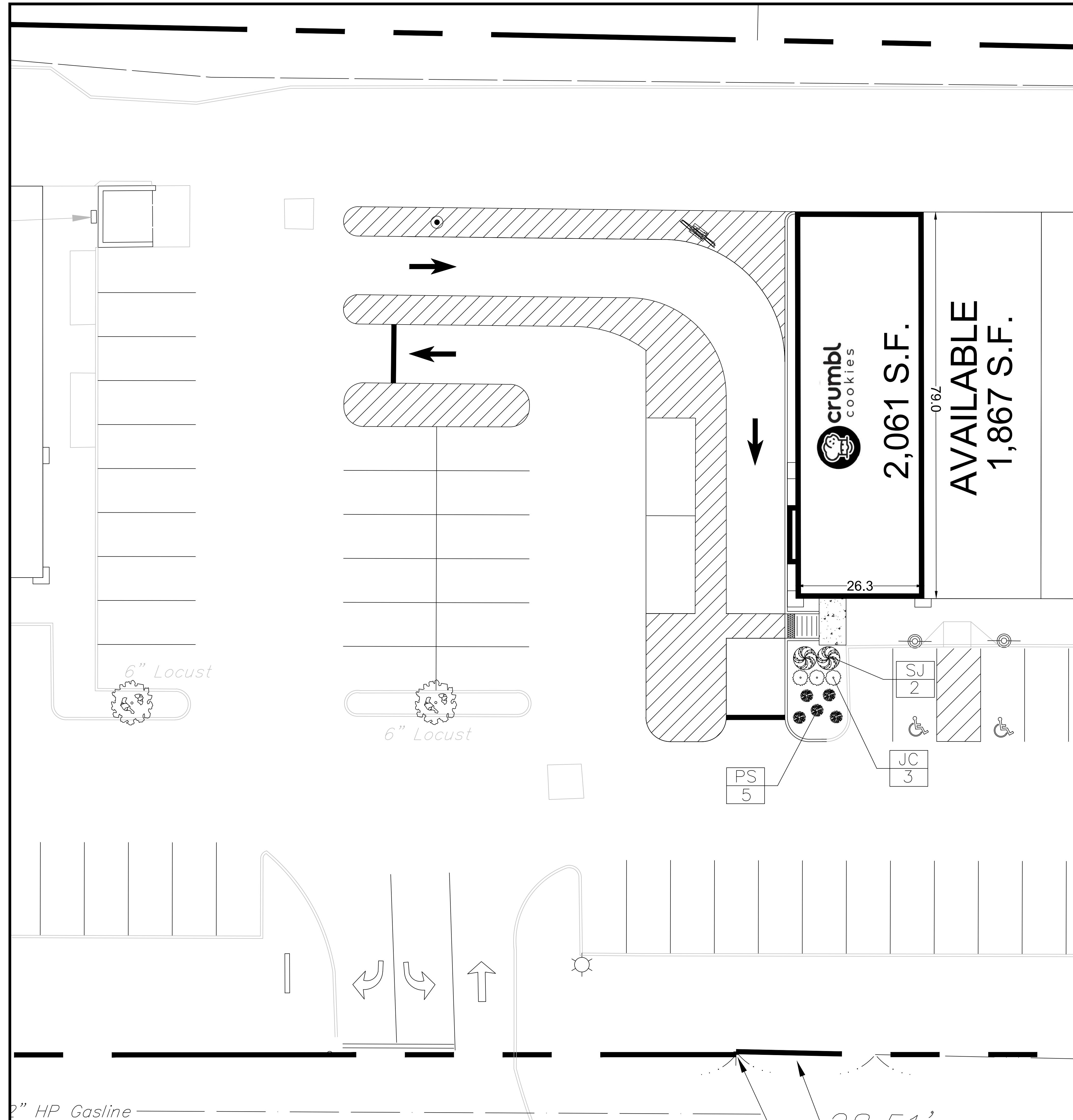


Drive Thru Stacking Plan

SCALE:
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MZ
CHECKED BY:
MAO
DATE:
2.15.2023

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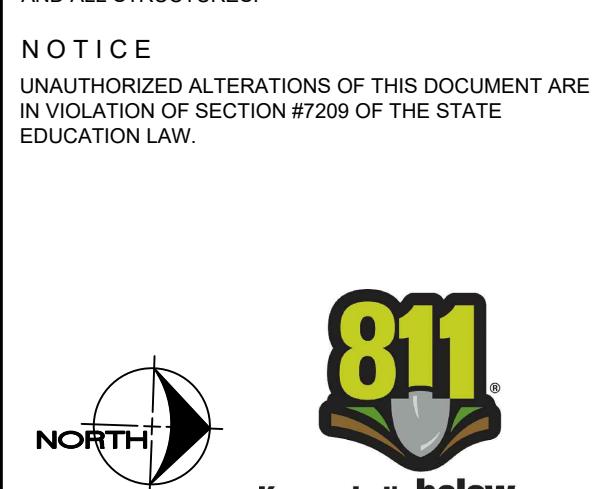


DRAWING REVISIONS:

No.	Date	By	Remarks
1	03.09.2023	DZ	Site Updates

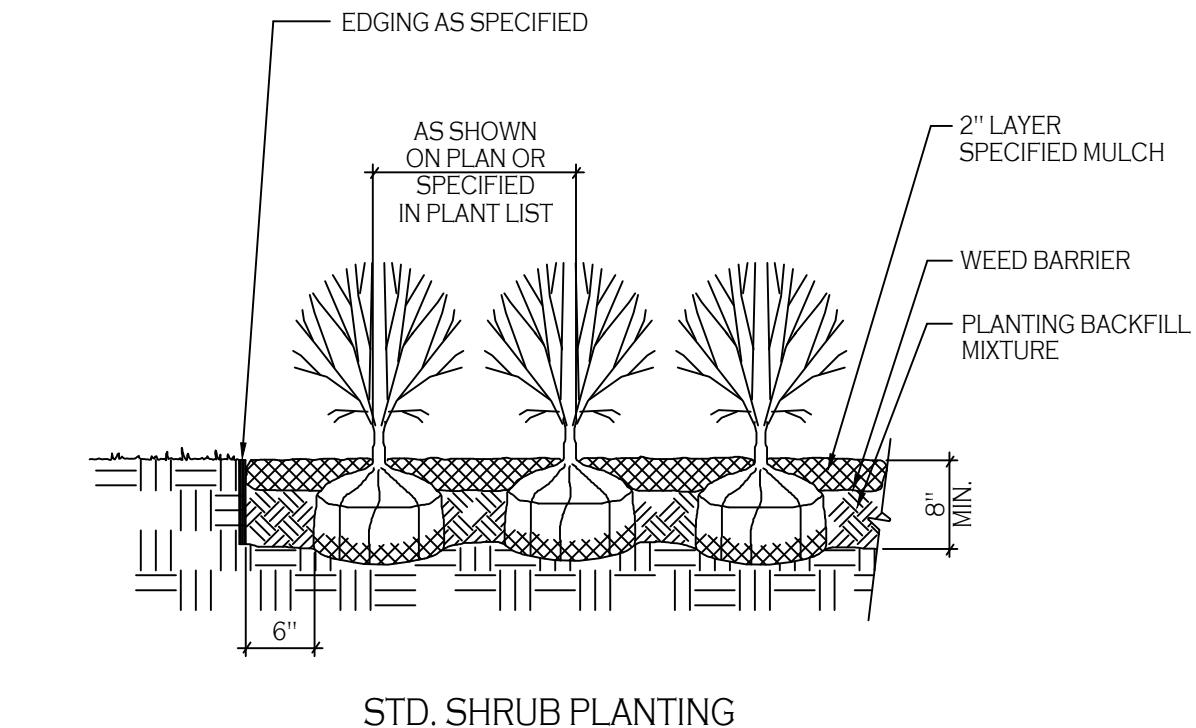
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PROPERTY NUMBER: #2124 AREA: -

LANDSCAPING INDEX							
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	CAL.	SIZE	ROOT	QTY.
[TREES]							
	GT	Gliditsia Triacanthos	HONEY LOCUST	2-1/2"		B&B	1
[SHRUBS & GRASS]							
	SJ	Spiraea japonica "Gold Mound"	GOLD MOUND SPIRAEA	-	24"	3 GAL.	2
	PS	Pennisetum setaceum	FOUNTAIN GRASS	-	24"	3 GAL.	5
	JC	Juniperus conferta "Blue Pacific"	BLUE PACIFIC JUNIPER	-	24"	3 GAL.	3



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SEAL



TITLE:
Landscaping Plan

SCALE:
1" = 10'
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 02.15.2023

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