

PROPOSED SITE MODIFICATIONS

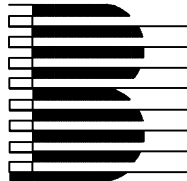
McKinley Commons
4154 McKinley Parkway Hamburg, NY 14219
BDC Property # 2124
SITE DEVELOPMENT DRAWINGS

INDEX OF DRAWINGS

DWG. #	DRAWING NAME	REVISION	DATE
C1.0	COVER SHEET	1	3.09.2023
C2.0	EXISTING SURVEY		
C3.0	DEMOLITION & EROSION CONTROL PLAN		
C4.0	OVERALL SITE PLAN	1	3.09.2023
C4.1	DETAILED SITE PLAN	1	3.09.2023
C4.11	DRIVE THRU STACKING PLAN	1	3.09.2023
C4.2	CONSTRUCTION DETAILS		
C5.0	GRADING PLAN	1	3.09.2023
C6.0	LANDSCAPING PLAN	1	3.09.2023

OWNER/DEVELOPER:

NAME: BENDERSON DEVELOPMENT COMPANY, LLC
ADDRESS: 570 DELAWARE AVENUE, BUFFALO, NY 14202
CONTACT: DAVID ZUPPELLI
PHONE: 716 - 878 - 9683



BENDERSON DEVELOPMENT COMPANY, LLC
570 Delaware Ave.
Buffalo, New York 14202

SURVEYOR

NAME: 360° LAND SURVEY
ADDRESS: PO BOX 474 LOCKPORT, NY 14095
CONTACT: MARSHALL D. WILSON
PHONE: 716 - 587 - 8380

UTILITIES:

NATURAL GAS
NAME/TITLE: WILLIAM SCHNEIDER
COMPANY/DEPT: NATURAL FUEL GAS
ADDRESS: -
PHONE: 716 - 857 - 7786

TELEPHONE COMPANY
NAME/TITLE: JOHN HECKMAN
COMPANY/DEPT: VERIZON
ADDRESS: -
PHONE: 716 - 840 - 8669

ELECTRIC
NAME/TITLE: BEN RUCHO
COMPANY/DEPT: NATIONAL GRID
ADDRESS: -
PHONE: 781 - 907 - 3620

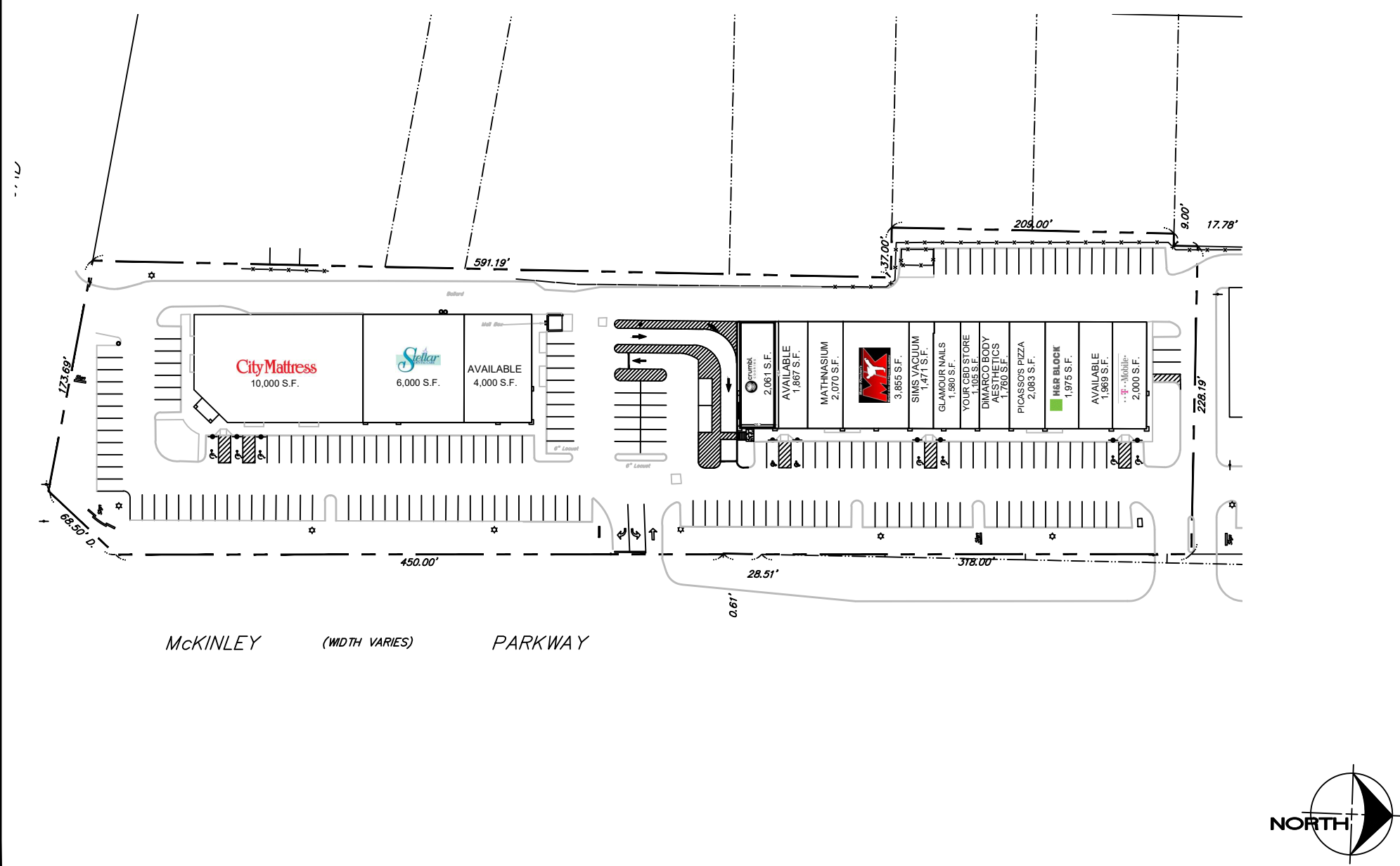
DIG SAFELY NEW YORK
PHONE: 1 - 800 - 962 - 7962 OR (811)

AGENCIES:

ENGINEERING DEPARTMENT
NAME/TITLE: MICHAEL QUINN/ TOWN ENGINEER
COMPANY/DEPT: TOWN OF HAMBURG ENGINEERING DEPT.
ADDRESS: 6100 SOUTH PARK AVE, HAMBURG, NY 14075
PHONE: 716 - 649 - 6111, EXT. 2358

BUILDING INSPECTOR/DEPARTMENT
NAME/TITLE: KURT ALLEN
COMPANY/DEPT: TOWN OF HAMBURG BUILDING DEPT.
ADDRESS: 6100 SOUTH PARK AVE, HAMBURG, NY 14075
PHONE: 716 - 649 - 6111, EXT. 2214

SITE LOCATION MAP 1:100



REGIONAL LOCATION MAP NTS



DRAWING REVISIONS:			
No.	DATE	BY	REMARKS
1	03.09.2023	DZ	Site Updates

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW.



Know what's below.
Call before you dig.

PROPERTY NUMBER:
#2124

AREA:

McKinley Commons
4154 McKinley Parkway
Town of Hamburg, NY 14219

PROPOSED
SITE MODIFICATIONS

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
Cover Sheet

SCALE:
NTS
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 02.15.2023

DRAWING NO.
C1.0



5. EASEMENT AGREEMENT BETWEEN BERNDSON DEVELOPMENT COMPANY INC. & CEDAR KEY ASSOCIATES, L.P. BY L10860 DEEDS B.3380 AFFECTS PREMISES & IS PLOTTED HEREON.
 6. EASEMENT TO NEW YORK STATE ELECTRIC & GAS CORP. BY L6277 DEEDS P.421 AFFECTS PREMISES. NOT PLOTTABLE AS DESCRIBED.
 7. EASEMENT TO NEW YORK STATE ELECTRIC & GAS CORP. BY L5990 DEEDS P.598 AFFECTS PREMISES. NOT PLOTTABLE AS DESCRIBED.
 8. EASEMENT TO NEW YORK STATE ELECTRIC & GAS CORP. BY L10936 DEEDS P.7706 AFFECTS PREMISES NEXT NORTHERLY.
 9. EASEMENT TO NEW YORK STATE ELECTRIC & GAS CORP. BY L10970 DEEDS P.8326 AFFECTS PREMISES & IS PLOTTED HEREON.
 10. EASEMENT TO NEW YORK STATE ELECTRIC & GAS CORP. BY L10861 DEEDS P.9554 AFFECTS PREMISES & IS PLOTTED HEREON.

LEGEND

- INSTRUMENT(S) UTILIZED IN DETERMINING LOCATION OF BOUNDARY LINES: Liber11123 Deeds Page 2964
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED IN SAID ABSTRACT.
- NOTE: PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY. NOTE: THIS SURVEY WAS PERFORMED UNDER SEVERE SNOW AND ICE CONDITIONS.

©COPYRIGHT 2023 BY:
 **TRUE NORTH**
LAND SURVEYING, PLLC
 150 AERO DRIVE
 BUFFALO, NEW YORK 14225
 (716)631-5140 ~ Truenorthpllc@aol.com

AMEND:
SURVEY DATE: 2-2-23
©DRAWING DATE: 2-9-23
SCALE: 1" = 40'
"ALL RIGHTS RESERVED"

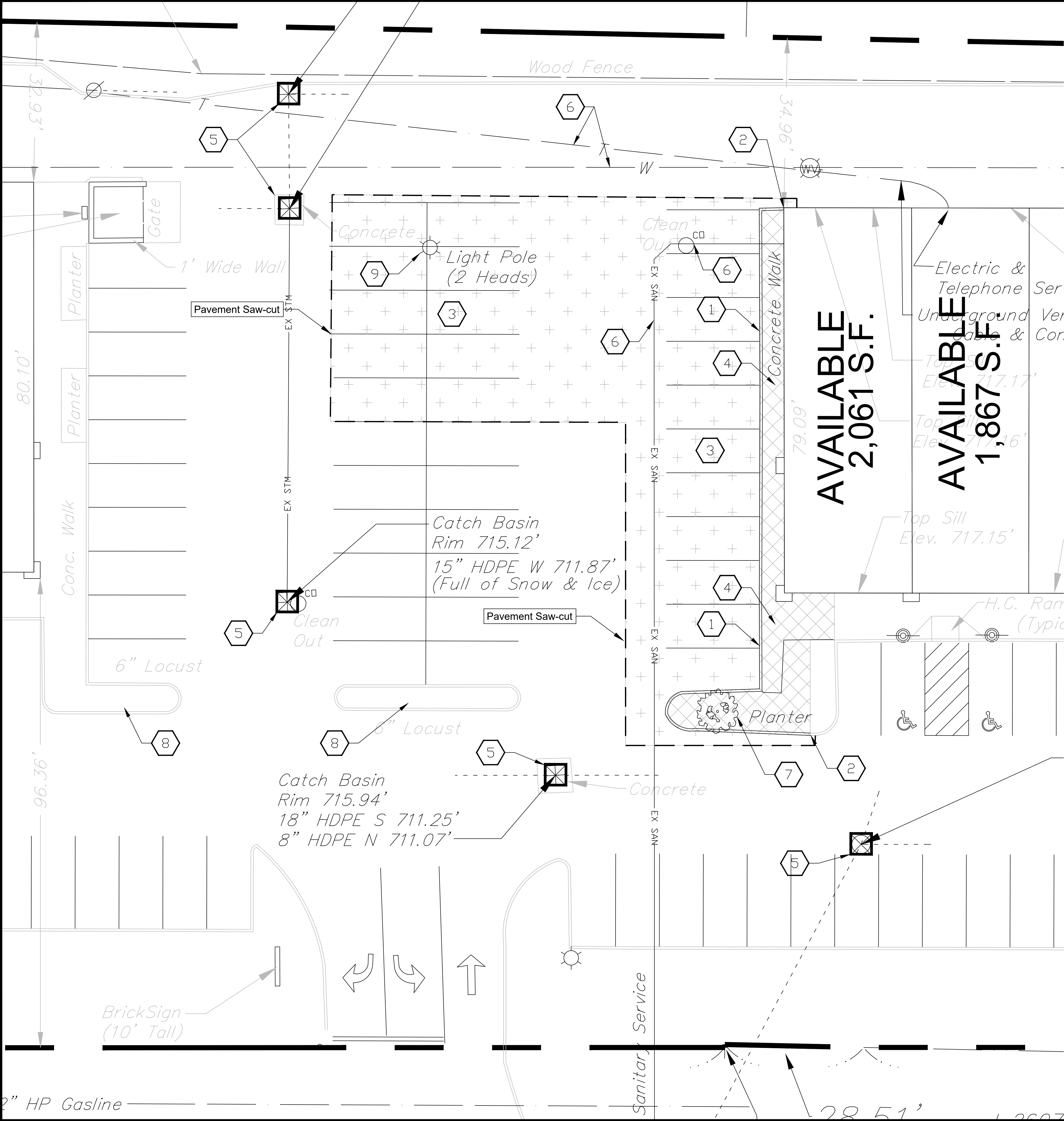
PART OF SUB LOTS 41, 42, 43, 44 & 45, COVER 925

PART OF LOT 55/56 SECTION TOWNSHIP 9 RANGE 7 OF THE
Holland Land Company's SURVEY - *Erie* COUNTY, N.Y.

SURVEY OF: 4154 McKinley Parkway, Town of Hamburg

THIS MAP VOID UNLESS
EMBOSSSED
WITH NEW YORK STATE LICENSED LAND
SURVEYOR'S SEAL. ALTERING ANY ITEM
ON THIS MAP IS A VIOLATION OF THE
LAW EXCEPT AS PROVIDED IN SECTION
7209, PART 2, OF THE NEW YORK
STATE EDUCATION LAW

SBL No. 160.15-1-3.1

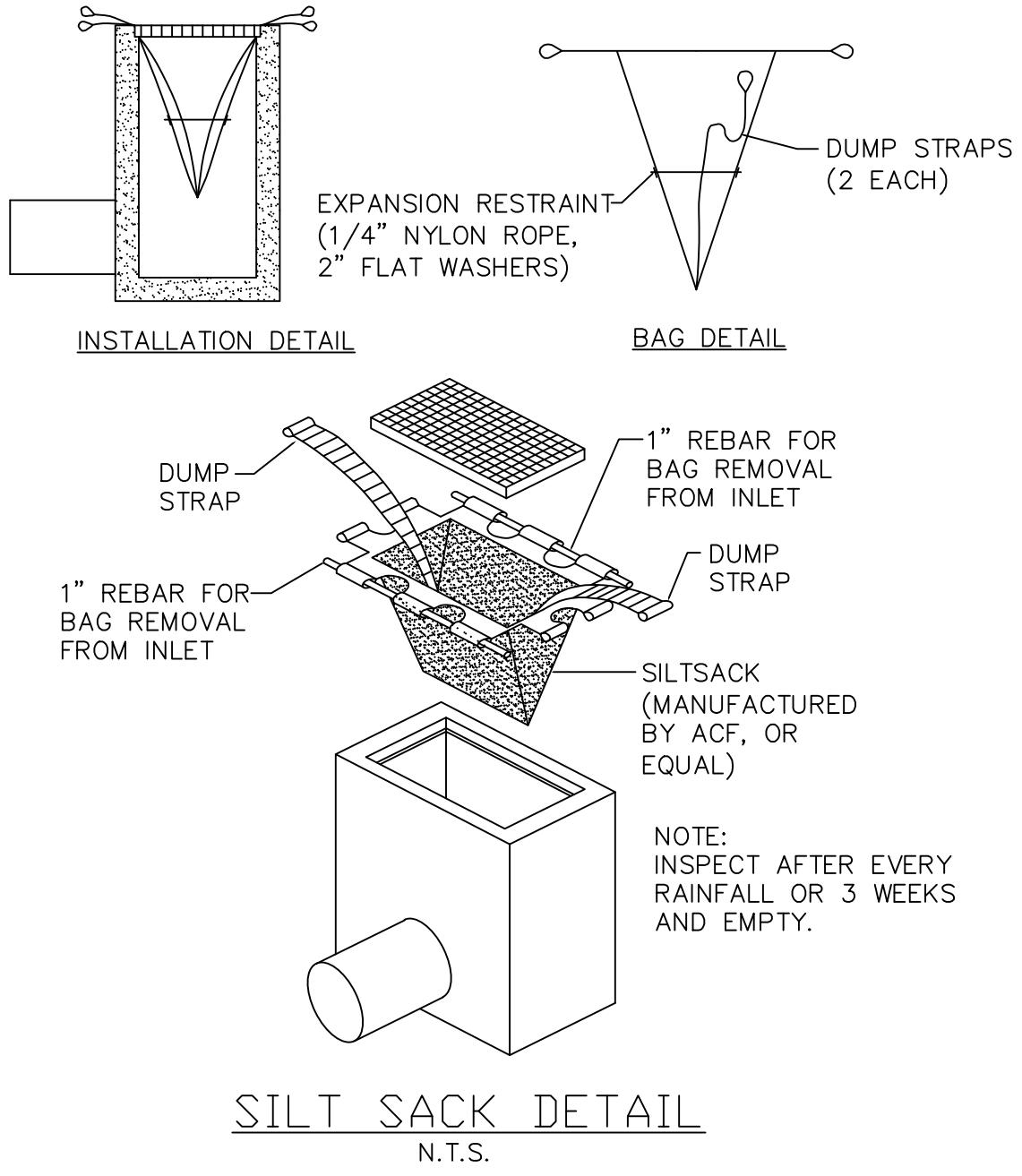


GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
11. CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES)
11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE WASHING THE RELEASE AGENT OFF. APRX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

DEMOLITION LEGEND:

- Property Line
- - - EX ELEC Existing Electric
- - - EX GAS Existing Gas
- - - W Existing Water
- - - EX OH Existing Overhead Utility
- - - EX SAN Existing Sanitary
- - - EX STM Existing Storm
- - - EX TG Existing Telecoms
- - - Saw Cut Line
- [Symbol] Inlet Protection
- [Symbol] Existing Features to be removed.

- DEMOLITION NOTES:**
- Existing Curb to be removed.
 - Limits of Curb Removal
 - Existing Asphalt Pavement to be removed. Subbase to Remain and regraded
 - Existing Concrete Sidewalk to be removed.
 - Existing Storm Drainage/CB to remain and be protected during Construction.
 - Existing Utility Structure to remain and be protected during Construction.
 - Existing Landscaping to be removed.
 - Existing Landscaping to Remain and Be protected during construction.
 - Existing Light Pole to be relocated.



DRAWING REVISIONS:

No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.
SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.
NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER: #2124
AREA: -

McKinley Commons
4154 McKinley Parkway
Town of Hamburg, NY 14219

PROPOSED
SITE MODIFICATIONS

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE: **Demolition and Erosion Control Plan**

SCALE: 1" = 10'
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 02.15.2023

DRAWING NO. **C3.0**

PROPOSED PARKING ANALYSIS			
USE	CODE	REQUIRED*	PROVIDED
SHOPPING CENTER	1 SPACE / 200 SF OF NET S.F.	43,796 S.F. * 0.85 = 37,225 S.F. 37,225 S.F. / 200 = 186 SPACES	
TOTAL		186 SPACES	191 SPACES

* Parking Analysis based off Industry Standard for a Typical mixed use shopping center
Code: 1 Space / 200 S.F. of Net Square Footage.
Net Square Footage of Mixed Use shopping center equals 85% of Gross Square Footage

TOWN OF HAMBURG, NY ZONING ANALYSIS		
	REQUIRED	PROVIDED
ZONED	C-2	C-2
MAX. LOT AREA	-	4.17 Acres
MAX. BUILDING HEIGHT	≤35'	30'
EXISTING LOT COVERAGE	≤ 85%	80.4%
PROPOSED LOT COVERAGE	≤ 85%	80.2%
BUILDING SETBACKS:		
FRONT	40'	91.6'
SIDE	25'	33.3'
REAR	10'	32.7'
DUMPSTER (SIDE/REAR)	8'	15'
PARKING SETBACKS:		
FRONT (MCKINLEY PKWY)	35'	43.5'
FRONT PL	10'	20'
SIDE	N/A	N/A
REAR	N/A	N/A

NB:
Curb Island Dimensions are measured from the inside of curb.

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS
1	03.09.2023	DZ	Site Updates

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER: #2124
AREA: -

McKinley Commons
4154 McKinley Parkway
Town of Hamburg, NY 14219

PROPOSED
SITE MODIFICATIONS

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
**Overall
Site Plan**

SCALE:
1" = 30'

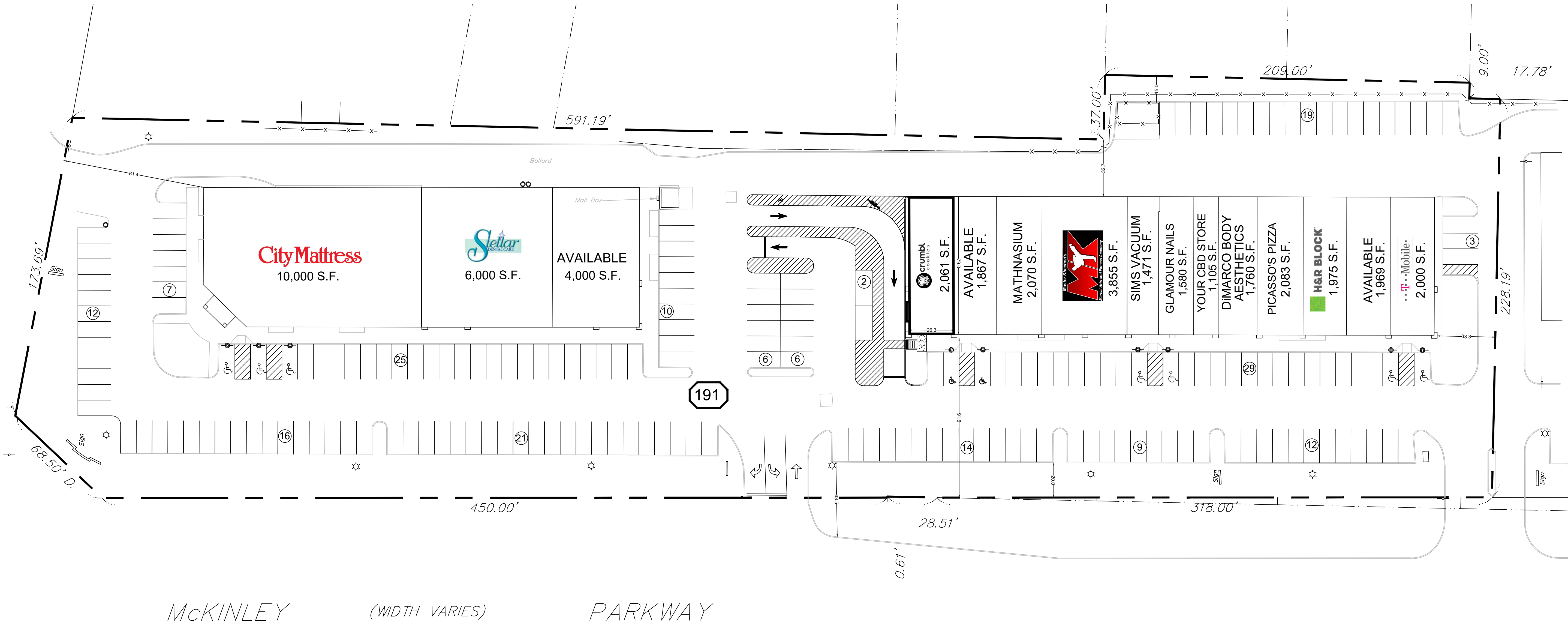
DRAWN BY:
DMZ

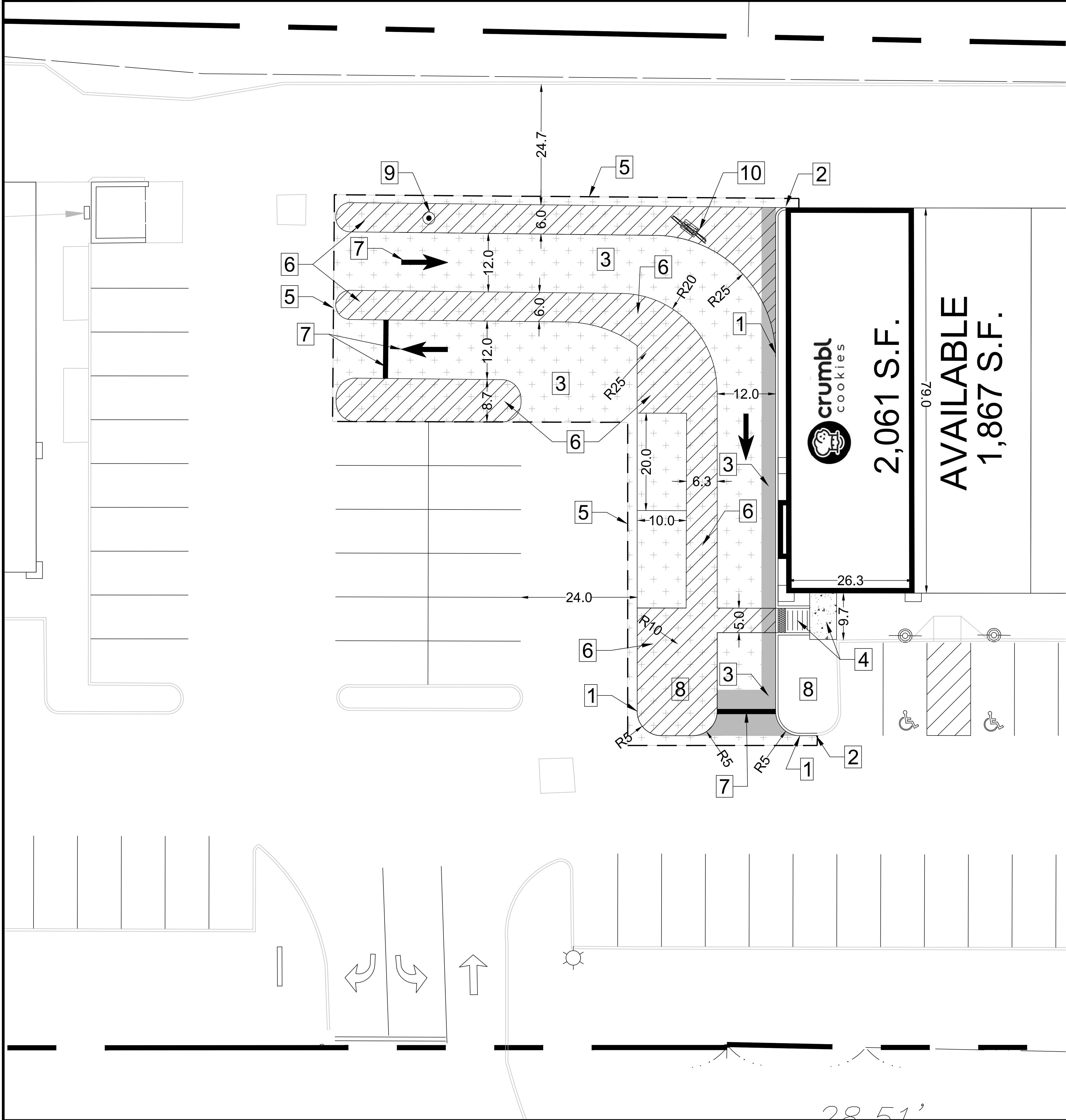
CHECKED BY:
MAO

DATE:
02.15.2023

DRAWING NO.
C4.0

note) ROA.





GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
11. CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES)
11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE WASHING THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL.
12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

SITE LEGEND:

- Property line
- 6" Curb (typ.)
- Proposed sign & pole
- Proposed Concrete Sidewalk
- Existing Standard Duty Pavement Mill and Resurface Pavement
- Proposed Standard Duty Pavement (Full Depth)

All curb radii are 3ft unless noted.
Refer to General Notes, Construction Details and Architectural Plans for Concrete Sealer information.

SITE NOTES:

- Proposed 6" concrete Curb.
- Match into Existing Curb
- Proposed Standard Duty Pavement Section.
- Proposed Concrete Sidewalk/Ramp.
- Match into Existing Pavement.
- 4" Yellow Pavement Stripe (at 2' c-c in no parking zones).
- Proposed White Pavement symbol (stop bar, directional arrows, accessibility symbol, text)
- Proposed Landscape Area.
- Relocated Light Pole Base
- Proposed Tenant equipment

NB: All curb Radii to be 3' unless otherwise noted.

DRAWING REVISIONS:				
No.	DATE	BY	REMARKS	
1	03.09.2023	DZ	Site Updates	

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.
SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.
NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW.

PROPERTY NUMBER: #2124
AREA: -

McKinley Commons
4154 McKinley Parkway
Town of Hamburg, NY 14219

PROPOSED
SITE MODIFICATIONS

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL

TITLE:
**Detailed
Site Plan**

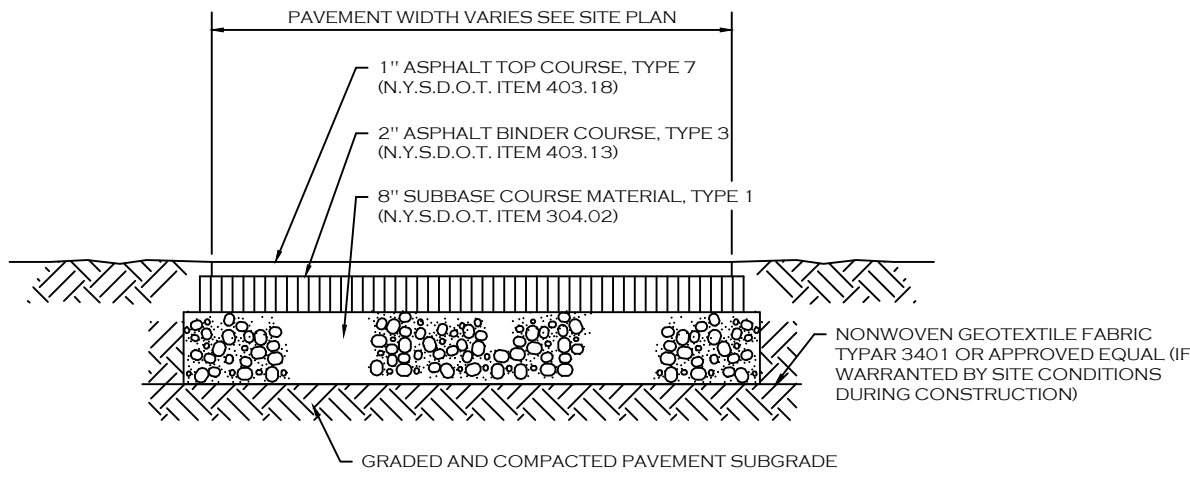
SCALE:
1" = 10'

DRAWN BY:
DMZ

CHECKED BY:
MAO

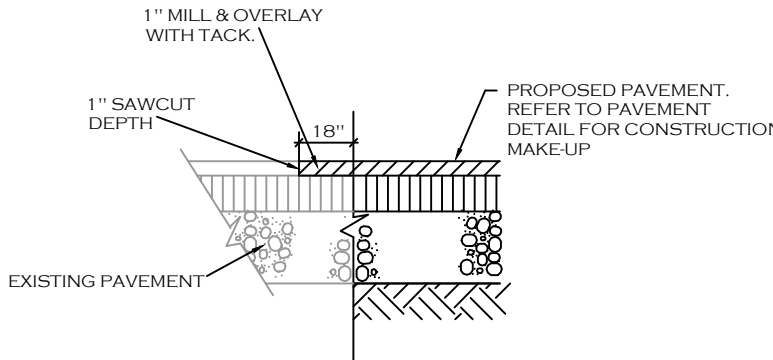
DATE:
02.15.2023

DRAWING NO.
C4.1

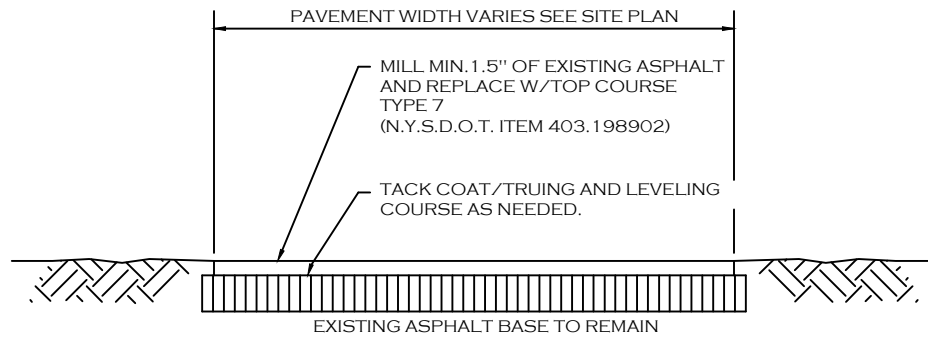


NOTE: CONSTRUCTION METHODS FOR ASPHALT PAVEMENT SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 401.3, WITH SUBBASE CONSTRUCTION METHODS CONFORMING TO NYS DOT STANDARD SPECIFICATION 304.3.

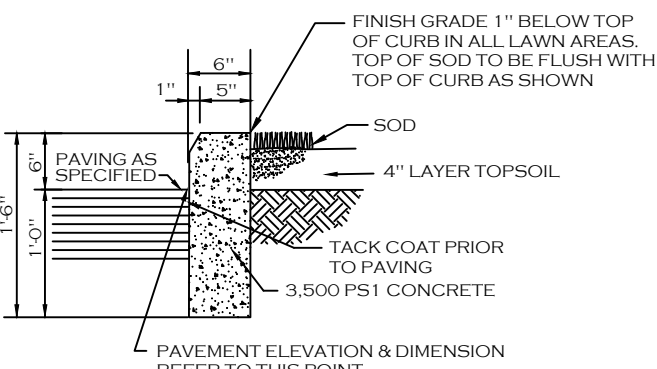
STANDARD DUTY ASPHALT SECTION



PAVEMENT TRANSITION DETAIL
(ASPHALT PAVEMENT)

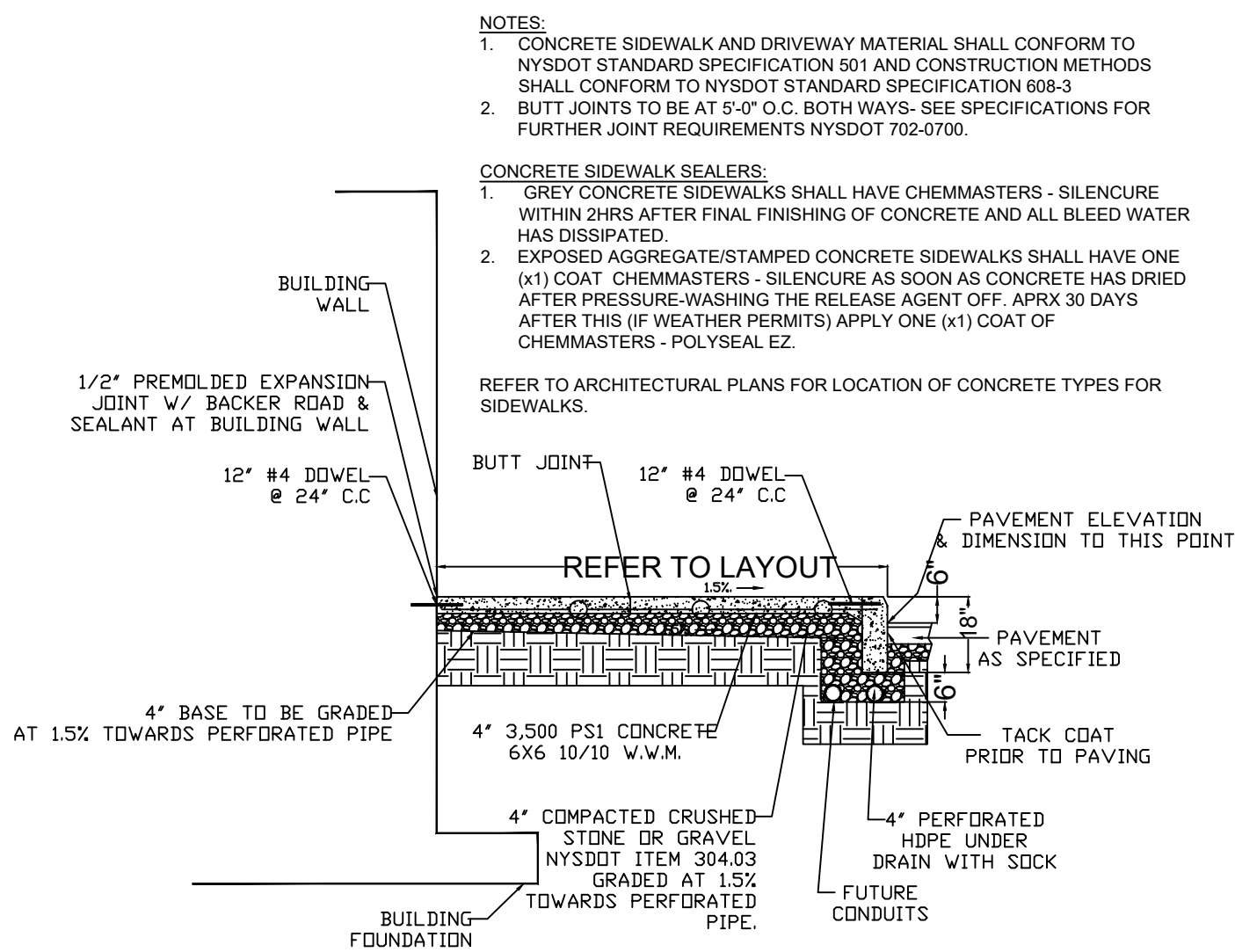


ASPHALT MILLING & OVERLAY DETAIL



NOTE: CONTROL JOINTS TO BE 2" DEEP AT 15'-0" O.C. BOTHWAYS. SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYS DOT 702.0700.

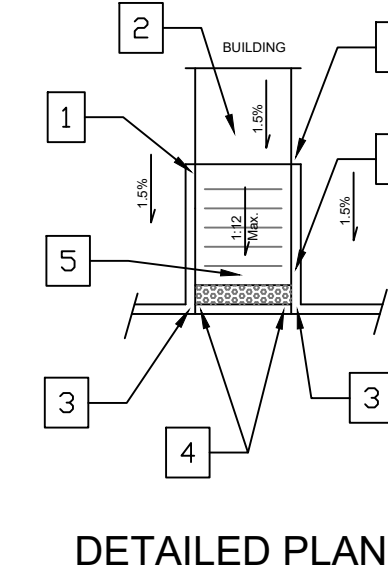
TYPE "A" CONCRETE CURB



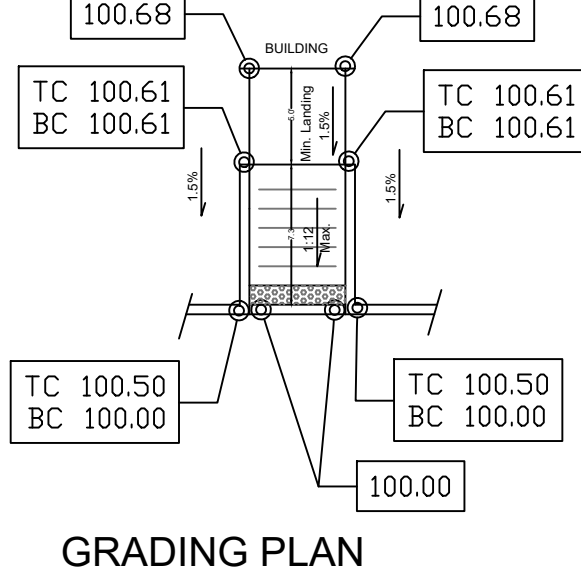
BUILDING SIDEWALK DETAIL

CONTRACTOR TO VERIFY WITH OWNER ON CURB DETAIL

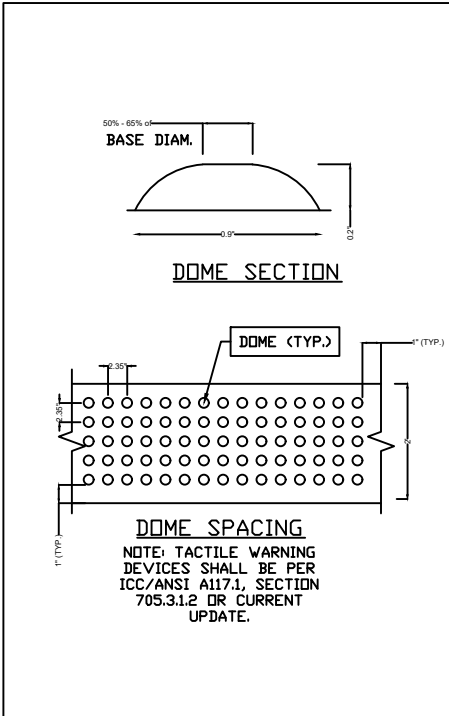
- Site Notes: #
- Proposed curb return to be flush with sidewalk
 - Proposed concrete sidewalk
 - Proposed 6" curb reveal
 - Proposed flush curb & Tactile Warning
 - Proposed ramp (1:12 max.)
 - Transition Curb



DETAILED PLAN



GRADING PLAN

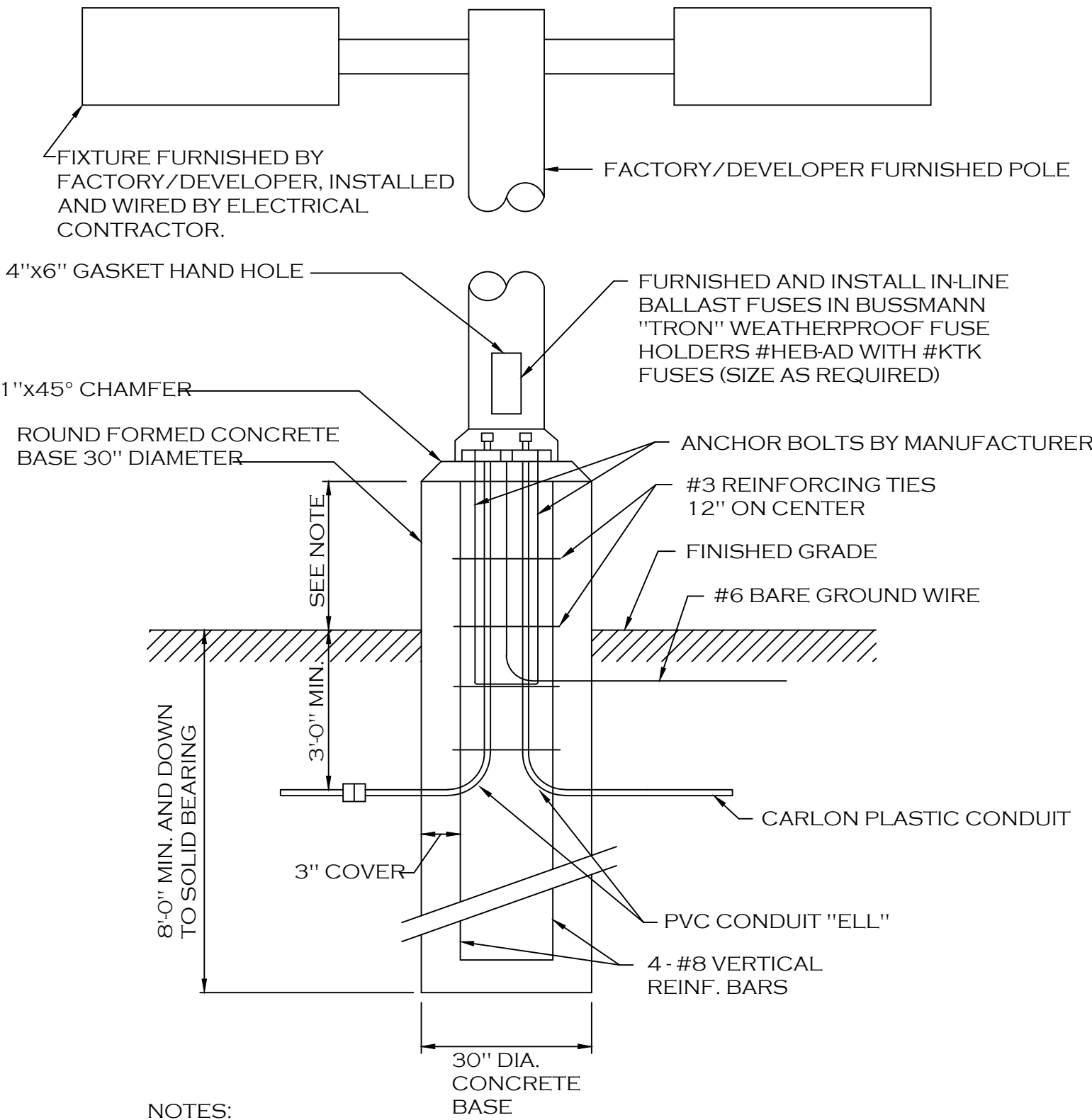


NOTE: TACTILE WARNING DEVICES SHALL BE PER NYS DOT 705.11.6 OR CURRENT UPDATE.

Curb Return Ramp Detail (Typ.)

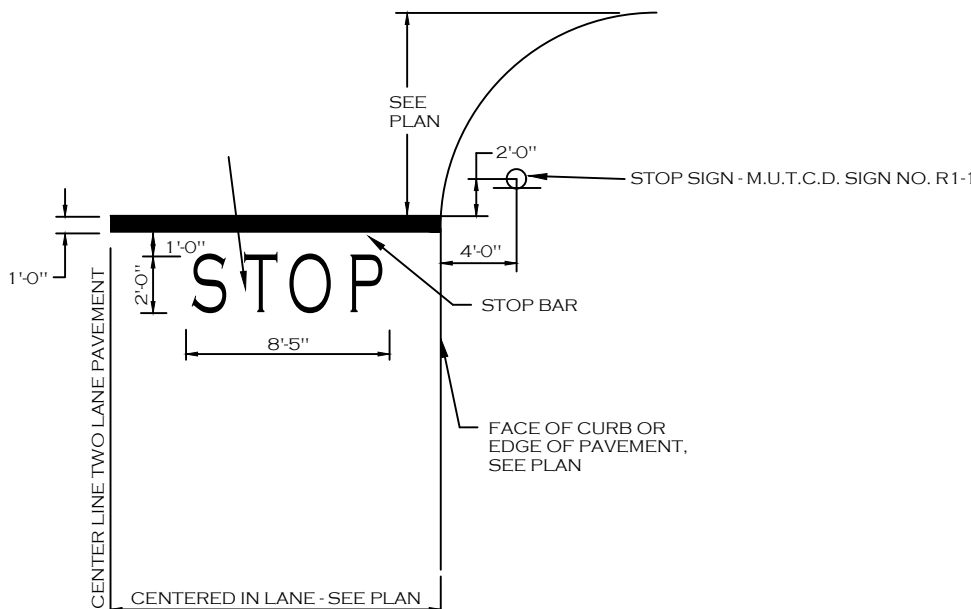
(To be read in conjunction with Engineering Plans and Details)

Spot levels are indicative - Refer to Grading Plan



- NOTES:
- FOR LOCATIONS OF FOUNDATIONS SEE SITE PLAN
 - FOR LIGHT FIXTURE ORDERING INFORMATION SEE SITE LIGHTING PLAN
 - LIGHT POLE BASE EXPOSURE ABOVE GRADE SHALL BE:
IN CURBED ISLANDS: 6" ABOVE TOP OF CURB ELEVATION
IN PAVEMENT: 3' ABOVE GRADE
IN NON-CURBED GRASS AREAS: 6" ABOVE GRADE

LIGHT POLE FOUNDATION



STOP BAR DETAIL

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION 72.09 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER: #2124
AREA: -

McKinley Commons
4154 McKinley Parkway
Town of Hamburg, NY 14219

PROPOSED
SITE MODIFICATIONS

CONSULTANT

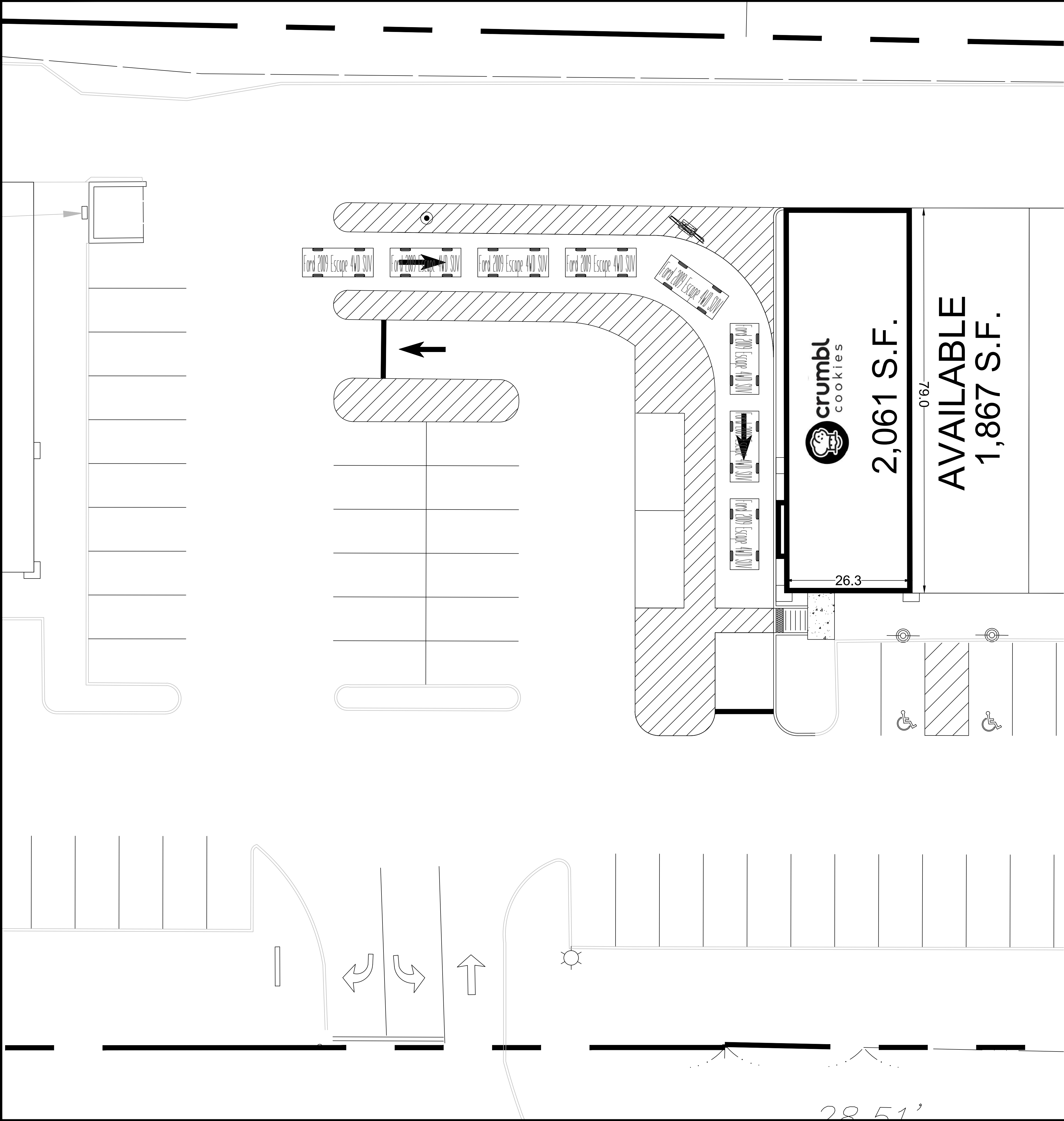
JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL

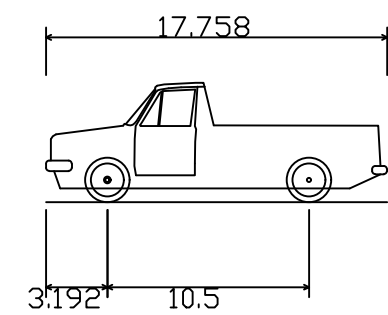


TITLE:
**Construction
Details**

SCALE:
NTS
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 02.15.2023
DRAWING NO.:
C4.2



- GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES).
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
 - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE WASHING THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.



F150 Regular Cab 2x4 STYLESIDE 6.5' Box
Overall Length 17.758ft
Overall Width 6.575ft
Overall Body Height 6.217ft
Min Body Ground Clearance 0.717ft
Track Width 6.575ft
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 20.850ft

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER: #2124
AREA: -

McKinley Commons
4154 McKinley Parkway
Town of Hamburg, NY 14219

PROPOSED
SITE MODIFICATIONS

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

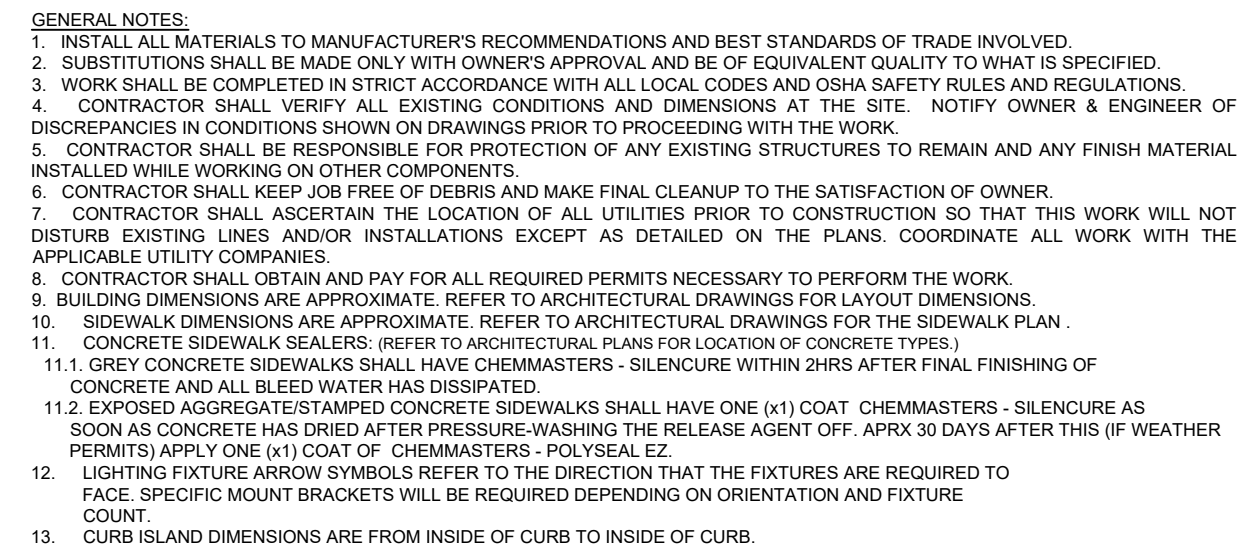
SEAL






TITLE:
Drive Thru
Stacking Plan

SCALE:
1" = 10'
DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
02.15.2023

DRAWING NO.
C4.11



GRADING LEGEND:

- Property Line
- 6" Curb (typ).
-  Catch Basin - Top of Grade
-  Proposed Contour Line
-  Slope Direction

DRAWING REVISIONS:

[illegible]

SPECIAL INFORMATION:

ALL CONTRACTORS SHALL GUARANTEE THEIR WORK
FOR A PERIOD OF ONE YEAR FROM THE DATE OF
OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY
AND ALL STRUCTURES.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE
IN VIOLATION OF SECTION #7209 OF THE STATE
EDUCATION LAW.



PROPERTY NUMBER:
#2124

REA:

**McKinley Commons
4154 McKinley Parkway
Town of Hamburg, NY 14219**

PROPOSED SITE MODIFICATIONS

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

BENDERSON
DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE

Grading Plan

SCALE:

 $1'' = 10'$

DRAWN BY
DMZ

CHECKED BY _____

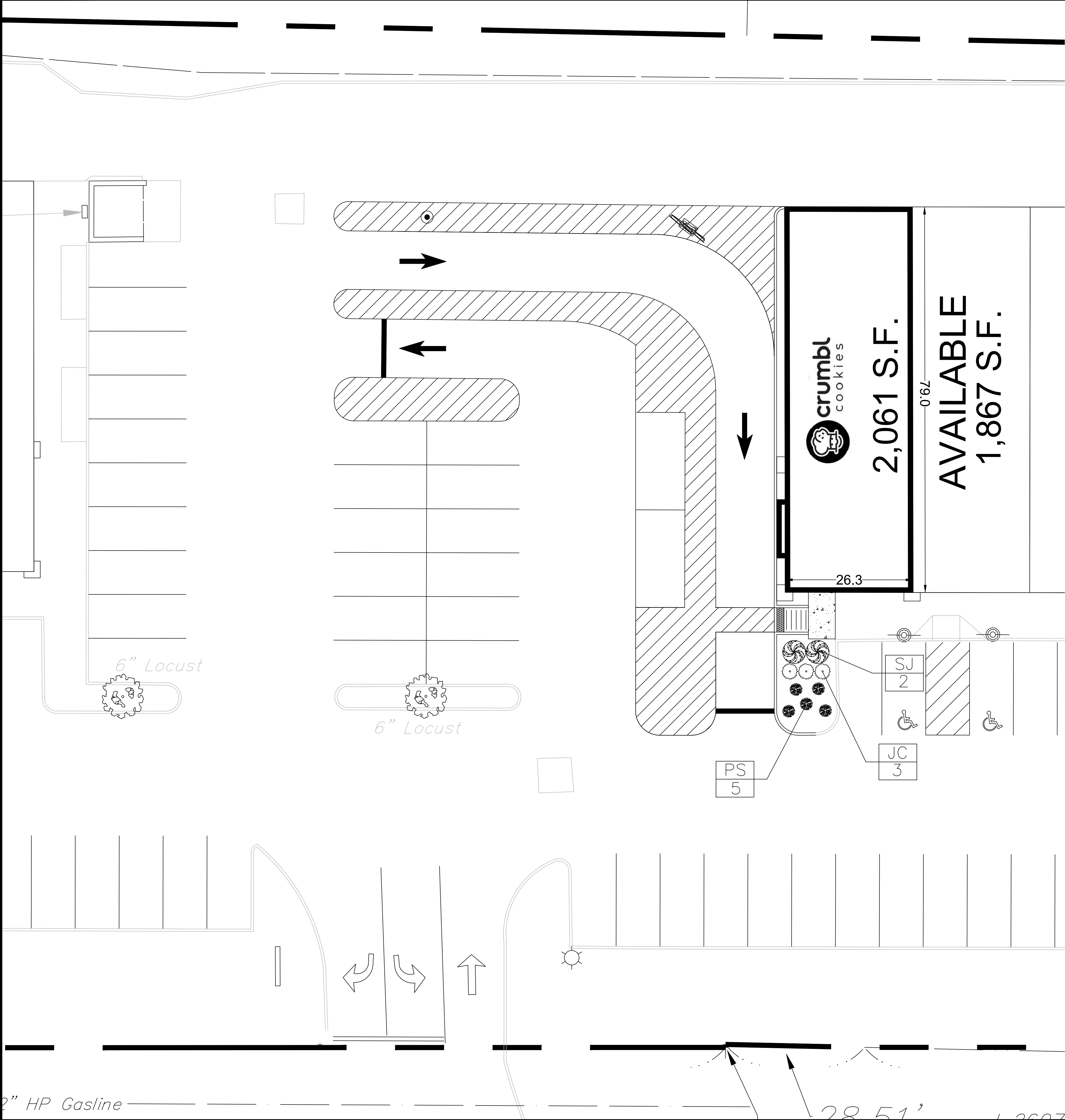
DATE:

DRAWING NO.

C5

6

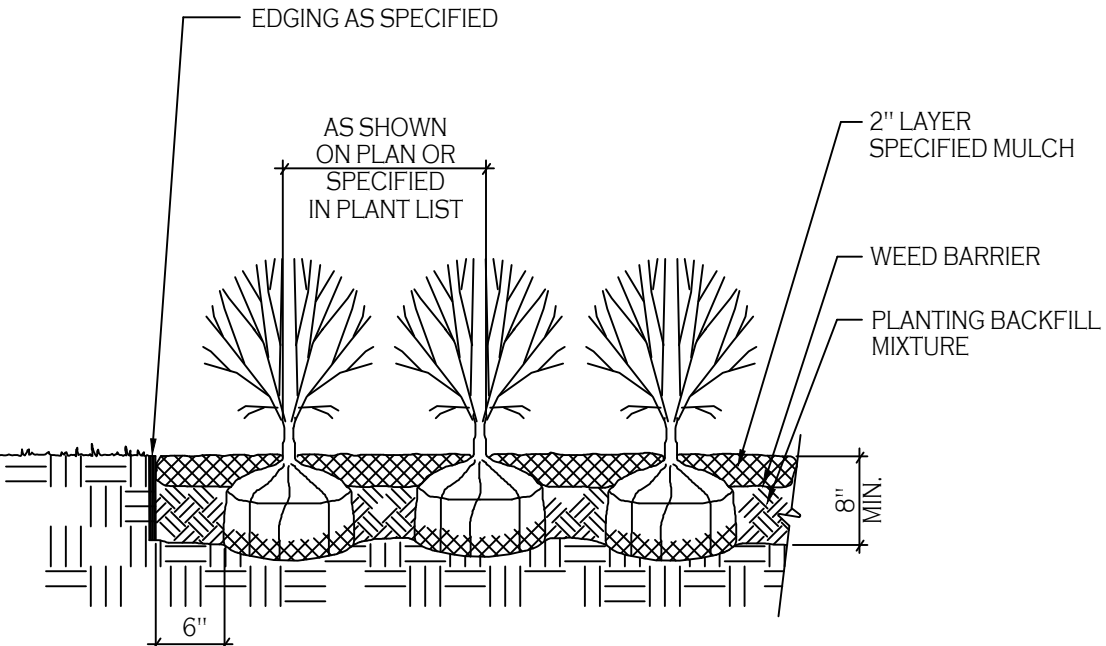
—



- GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES).
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
 - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE WASHING THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

- LANDSCAPE NOTES:
1. ALL PLANTS INSTALLED SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED ON THE PLANS AND IN THE LATEST EDITION ON THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSEYMEN, ANSI 260.1.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF. THE QUANTITIES SHOWN ARE A MINIMUM AND ARE FOR REFERENCE ONLY.
 3. PROPOSED PLANTING MATERIAL LOCATIONS IDENTIFIED ON THE PLANS CONVEY DESIGN INTENT ONLY. PRIOR TO INSTALLATION, THE CONTRACTOR SHALL COMPLETE A FIELD STAKEOUT OF ALL PROPOSED PLANTING MATERIAL LOCATIONS FOR THE OWNER'S REPRESENTATIVE'S INITIAL REVIEW. THE FINAL LOCATION OF ALL PROPOSED PLANTING MATERIALS WILL REQUIRE THE APPROVAL OF THE OWNER'S REPRESENTATIVE AT THE TIME OF INSTALLATION.
 4. THE CONTRACTOR IS HEREBY NOTIFIED THAT IF UNDERGROUND UTILITIES EXIST IN THE VICINITY OF THE PLANTINGS, ALL PROPOSED PLANTINGS SHALL BE INSTALLED A MINIMUM OF 5' FROM ANY UNDERGROUND UTILITY. CONTACT THE OWNER'S FIELD REPRESENTATIVE IF PLANTINGS SHOWN ON THE PLANS VIOLATE THIS SITUATION.
 5. ALL TREES SHALL BE INSTALLED A MINIMUM OF 20' FROM ANY OVERHEAD ELECTRIC LINES.
 6. PLANTING BACKFILL MIXTURE SHALL CONSIST OF 4 PARTS TOPSOIL, 1 PART PEAT MOSS, 1/2 PART WELL ROTTED MANURE, 10 LBS 5-10-5 PLANTING FERTILIZER THOROUGHLY MIXED PER CUBIC YARD.
 7. STAKE AND WRAP TREES IMMEDIATELY FOLLOWING INSTALLATION.
 8. ALL PLANTED AREAS SHALL RECEIVE A MAX. 2" LAYER OF COCOA BROWN MULCH. WEED MAT EQUAL TO "WEEDBLOCK" BY EASY GARDENER OR DEWITT WEED BARRIER.
 9. ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL BE PROVIDED WITH SOD. SEED PERMITTED AT RETENTION POND IF PLANTED EARLY ENOUGH TO ESTABLISH.
 10. THE AREAS ON THE PLAN TO BE SEEDED SHALL HAVE 4" MINIMUM OF TOPSOIL, DISK PLOWED, LEVELED AND HAND RAKED SMOOTH. SURFACE SHALL BE ROLLED TO REMOVE LUMPS.
 11. ALL SEEDED AREAS SHALL BE HYDROSEDED IN ACCORDANCE WITH THE SPECIFICATION INDICATED. WHERE REQUIRED BY CLIMATIC CONDITIONS, SLOPE OR SEASON OF PLANTING. HYDROSEED SPEC: 20% FYE, 20% BLUE GRASS, 60% TURF TYPE FESCUE. SOD MAY BE SUBSTITUTED FOR SEEDING IN ORDER TO ACHIEVE THE REQUIRED COVERAGE (REFER TO CONTRACTOR FOR SOD/SEED COVERAGE).
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MOWING AND OTHER MAINTENANCE TO SEEDED AREAS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. THIS SHALL INCLUDE WATERING DAILY FOR 15 DAYS OR AS REQUIRED BY WEATHER CONDITIONS AND RE-SEEDING OF THIN SPOTS FOLLOWING THE GERMINATION OF THE SEEDS.
 13. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING TREES ONSITE AND OFFSITE, WHICH ARE TO BE PRESERVED, FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE.
 14. CONTRACTOR TO PROVIDE A ONE YEAR GUARANTEE ON ALL NEW PLANTING MATERIALS, INCLUDING LAWNS, STARTING AT THE DATE OF FINAL ACCEPTANCE.

LANDSCAPING INDEX							
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	CAL.	SIZE	ROOT	QTY.
[TREES]							
	GT	Glidtsia Triacanthos	HONEY LOCUST	2-1/2"		B&B	1
[SHRUBS & GRASS]							
	SJ	Spiraea japonica 'Gold Mound'	GOLD MOUND SPIRAEA	-	24"	3 GAL.	2
	PS	Pennisetum setaceum	FOUNTAIN GRASS	-	24"	3 GAL.	5
	JC	Juniperus conferta 'Blue Pacific'	BLUE PACIFIC JUNIPER	-	24"	3 GAL.	3



STD. SHRUB PLANTING

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS
1	03.09.2023	DZ	Site Updates

SPECIAL INFORMATION:

ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE

UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER: #2124

AREA: -

McKinley Commons
4154 McKinley Parkway
Town of Hamburg, NY 14219

PROPOSED
SITE MODIFICATIONS

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:

Landscaping
Plan

SCALE:
1" = 10'

DRAWN BY:
DMZ

CHECKED BY:
MAO

DATE:
02.15.2023

DRAWING NO.
C6.0